

# AGENDA



ARCHITECTURAL REVIEW BOARD MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
NOVEMBER 29, 2022 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

*This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) ACTION ITEMS

(1) **SP2022-059 (BETHANY ROSS)**

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a Site Plan for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

(2) **SP2022-061 (HENRY LEE)**

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of Rockwall Independent School District (RISD) for the approval of a Site Plan for an *Elementary School* on a 11.605-acre tract of land identified as Tract 17-01 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 899 Tubbs Road, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Guevara, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on November 21, 2022 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 11/21/2022

PROJECT NUMBER: SP2022-061  
PROJECT NAME: Site Plan for Rochell Elementary  
SITE ADDRESS/LOCATIONS: 401 E RALPH HALL PKWY

CASE MANAGER: Henry Lee  
CASE MANAGER PHONE: 972.772.6434  
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of Rockwall Independent School District (RISD) for the approval of a Site Plan for an Elementary School on a 11.605-acre tract of land identified as Tract 17-01 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 899 Tubbs Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	11/17/2022	Needs Review

11/17/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for an Elementary School on a 11.605-acre tract of land identified as Tract 17-01 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 899 Tubbs Road.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2022-061) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- I.4 Please remove all proposed signage from the site plan. All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05)
- M.5 The subject property will be required to be Final Plat, to establish new easements and establish the lot, block, and subdivision.
- M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**M.7 Site Plan:**

- (1) Note 13 within the General Notes must read that the Foot-Candles must be 0.2 FC at all property lines. (Subsection 03.03. G, of Article 07)

- (2) The building setback along Ralph Hall Parkway, Mims Road, and Rochell Court must be 40-feet. (Subsection 03.04. B, of Article 11)
- (3) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
- (4) Please clarify the capacity of the proposed facility as the student capacity is generally the same as the current facility. (Subsection 05.01, of Article 06)
- (5) Please check the traffic circulation arrows as there appears to be head on traffic near the rear entrance.
- (6) Please clarify the two (2) student drop off points and detail how drop off vehicles will circulate.
- (7) Please indicate if the vinyl coated chain link fence is proposed or existing. Please provide details of all proposed fencing. (Subsection 08.02. F, of Article 08)
- (8) Please provide information on the height of the proposed generator. Landscape screening may be required. (Subsection 01.05. C, of Article 05)
- (9) Please crosshatch the roof mounted utility equipment. Currently it appears that some of the equipment extends above the parapet. (Subsection 01.05. C, of Article 05)
- (10) The dumpster enclosure gates must be self-latching, and the gates cannot be metal R-panel; smooth metal panel can be permitted. (Subsection 01.05. B, of Article 05)
- (11) Please verify that there will be no outside storage.

#### M.8 Landscape Plan:

- (1) A canopy tree row must be provided at the rear of the property (i.e. the north side) per the four-sided architecture requirements of the general overlay district standards. (Subsection 06.02. C, 5, of Article 08)
- (2) All shrubs must be 5-gallon. (Subsection 05.03. B, of Article 08)
- (3) Existing canopy and accent trees may be counted towards the landscape buffer requirements; however, crape myrtles do not count as an accent tree. (Appendix C)
- (4) Please indicate the visibility triangles. (Subsection 01.08, of Article 05)
- (5) All landscape buffer must include a generally continuous and undulating berm and a shrub row. Also, on each of the three (3) roadways, one (1) canopy and accent tree must be provided per 50-feet. In this case, Ralph Hall Parkway need 20 of each, Mims Road needs 10 of each, and Rochell Court needs seven (7) of each. Please verify that this is met. (Subsection 05.01, of Article 08)

#### M.9 Treescap Plan:

- (1) Justify the declining/hazardous trees based on the rating system outlined in our tree preservation ordinance. (Article 09)
- (2) The total tree mitigation after the preservation credits is 402 caliper inches. Given this, the 80/20 planting vs. payment rule within our UDC requires 321.6 caliper inches to be planted and 80.4 caliper inches to be paid (i.e.  $80.4 \times \$100.00 = \$8,040.00$ ). That being said, the landscape plan has indicated that 132 caliper inches will be planted reducing the total to 270 caliper inches. Going forward you can either meet the 80/20 rule outlined above or you can request a tree mitigation settlement agreement, which must be approved by City Council. You would simply need to provide a letter making the request. If left as is, the remaining fee would be \$27,000.00. (Subsection 03.01. G, of Article 09)

#### M.10 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Please indicate the mounting heights of all fixtures, and provide cutsheets for each fixture. (Subsection 03.03, of Article 07)

#### M.11 Building Elevations:

1. The 90% masonry material requirement is not met on the north and south elevation. This would be a variance request. (Subsection 06.02. C, of Article 05)
2. The 20% natural/quarried stone requirement is not met on the east elevation. This would be a variance request. (Subsection 06.02. C, of Article 05)
3. Please provide more information on the stone materials being proposed, as these are required to be natural or quarried. (Subsection 04.01, of Article 05)
4. On the overall elevations please provide the total heights and parapet heights. (Subsection 07.03, of Article 05)
5. Please provide a note that the parapets will be finished on the back side with the same material as the outward facing façade. (Subsection 04.01, of Article 05)
6. Please crosshatch the roof mounted utility equipment. Currently it appears that some of the equipment extends above the parapet and will be required to be screened. (Subsection 01.05. C, of Article 05)
7. The primary façade articulation requirements are required on each side of the building because the subject property is located in the IH-30 Overlay District. In this case, it appears that each side of the building does not meet the wall length requirements (i.e.  $\text{Wall Length} = \text{Height} \times 3$ ). Also, the wall projection requirement is not met on the north side of the building (i.e.  $\text{Wall Projection} = \text{Height} \times 25\%$ ). These will require variance request. (Subsection 04.01. C, of Article 05)

I.12 Staff has identified the following exceptions and variances associated with the proposed request: [1] 90% masonry, [2] 20% stone, and [3] primary articulation. Should you decide to request these items as variances, please provide a letter that lists the variances, why they are being requested, and the subsequent compensatory measures. For each variance requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of

masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on December 6, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 6, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 13, 2022 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on November 29, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on December 13, 2022.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2022	Needs Review

- 11/18/2022: - Need to show any new water with meter locations or sewer service (if needed)
- How will gates be functioning to keep traffic from backing up onto Rochell Court and Mims?
  - Drop off area blocking parking.
  - No wheel stops allowed on 18' parking spaces.
  - Hydrant and lead will have to be removed.
  - Need to show & label detention area.
  - 5' sidewalk along Ralph Hall.
  - May need to relocate FH along Ralph Hall.

Informational comments for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures or signage allowed in easements.
- Retaining wall 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- Must include a 10' utility easement along street frontage
- TIA and Drainage studies must be reviewed and approved before engineering plans may be released.

Water and Wastewater Items:

- Public water lines to be 8" minimum.
- Public Sewer to be 8" minimum.
- All public utilities to be centered in a 20' wide easement

Drainage Items:

- Dumpster area to drain to an oil/water separator and then to the storm system.
- Detention will be required for additional impervious area.
- No walls in detention. Max slope is 4:1

Roadway Paving Items:

- Parking to be 20'x9'
- No dead-end parking allowed without a striped and signed "No Parking" area that is 64'x15'.
- Drive aisles to be a min. 24' wide
- Fire lane to have a min. radius of 20' if buildings are less than 30' tall. If any building is over 30' tall, the fire lane min. radius is 30'.
- Fire lane to be platted
- All public sidewalks are a minimum of 5' wide

Landscaping:

- No trees to be within 5' of any public water, sewer, or storm line that is less than 10" in diameter.
- No trees to be 10' of any public water, sewer, or storm line that is 10" in diameter or greater.
- All trees and shrubs planted adjacent to 18' parking spaces shall be planted 4' from back of curb or make these parking spaces 20'x9'

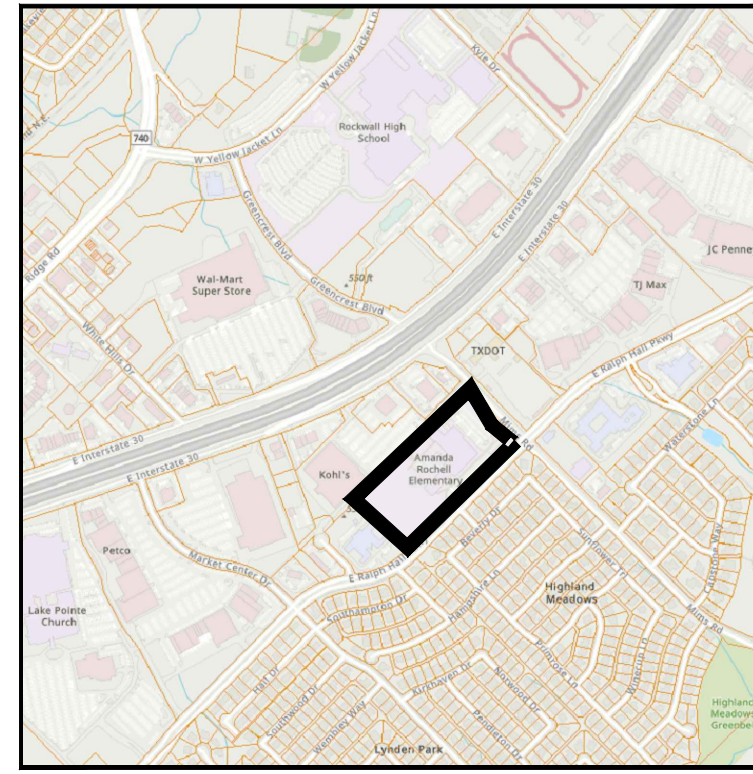
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/21/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/16/2022	Approved w/ Comments
11/16/2022: FDC shall be facing and visible from the fire lane. FDC must be within 100 feet of a fire hydrant and 50 feet of the fire lane. The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from the fire lane access.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/16/2022	Approved w/ Comments
11/16/2022: New building address will be 401 EAST RALPH HALL PKWY, ROCKWALL, TX 75032			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	11/16/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2022	Approved w/ Comments
11/16/2022: 1. Landscape approved 2. Tree mitigation approved 3. Informational only: There are several turfgrass species there are superior to Common Bermuda such as; Tif Tuf, Lattitude 36, Tahoma 31 which are more drought, cold, wear tolerant and conserve water.			



VICINITY MAP (NOT TO SCALE)

**BENCHMARKS**

CITY OF ROCKWALL BENCHMARK COR-4  
ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON RD., +.210' WEST OF INTERSECTION OF SH 205 AND DALTON RD., +.10' NORTH OF NORTH CURB LINE.  
N: 7040336.992 E: 2592422.633 ELEVATION 541.67

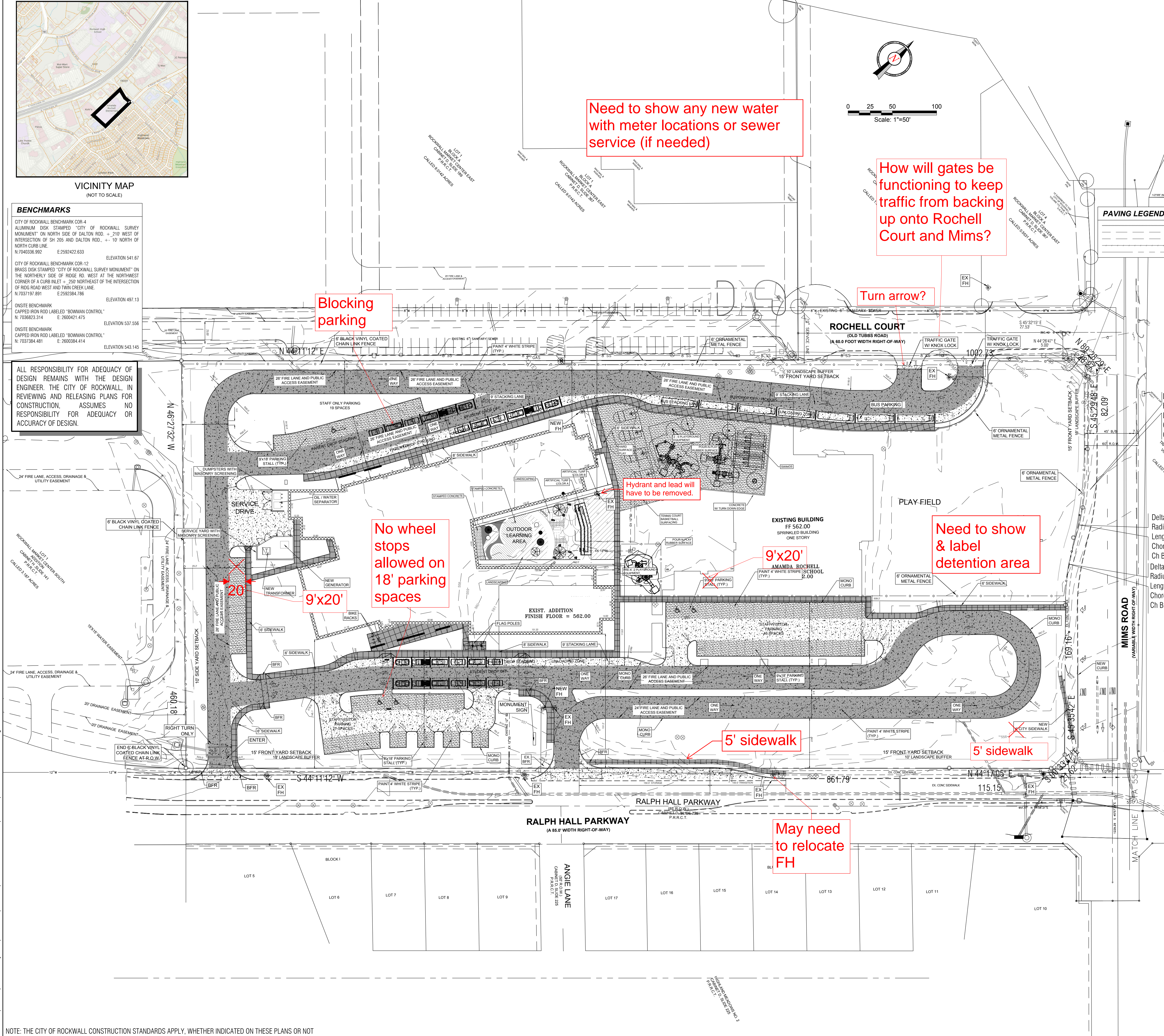
CITY OF ROCKWALL BENCHMARK COR-12  
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD. WEST AT THE NORTHWEST CORNER OF A CURB NILEY +.250' NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE.  
N: 7037197.891 E: 2592384.786 ELEVATION 497.13

ON-SITE BENCHMARK  
CAPPEL IRON ROD LABELED "BOWMAN CONTROL."  
N: 7036823.314 E: 2600421.475 ELEVATION 537.556

ON-SITE BENCHMARK  
CAPPEL IRON ROD LABELED "BOWMAN CONTROL."  
N: 7037384.481 E: 2600384.414 ELEVATION 543.145

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

User: Robert  
D:\Public\Projects\ROCKWALL\2022 REPLACEMENT\BIDSET\ROCHELL ES-ENG.dwg  
Nov 14, 2022 - 10:27am



Need to show any new water with meter locations or sewer service (if needed)

How will gates be functioning to keep traffic from backing up onto Rochell Court and Mims?

Blocking parking

Turn arrow?

Hydrant and lead will have to be removed.

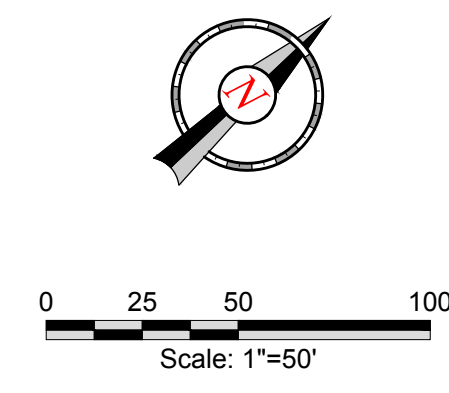
No wheel stops allowed on 18' parking spaces

Need to show & label detention area

5' sidewalk

5' sidewalk

May need to relocate FH



**PAVING LEGEND**

[Symbol]	Asph/Flt
[Symbol]	Gravel
[Symbol]	Concrete
[Symbol]	Grass
[Symbol]	Other

- General Items:**
- Must meet City Standards of Design and Construction
  - 4% Engineering Inspection Fees
  - Minimum easement width is 20' for new easements. No structures or signage allowed in easements.
  - Retaining wall 3' and over must be engineered.
  - All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
  - Must include a 10' utility easement along street frontage
  - TIA and Drainage studies must be reviewed and approved before engineering plans may be released.
- Water and Wastewater Items:**
- Public water lines to be 8" minimum.
  - Public Sewer to be 8" minimum.
  - All public utilities to be centered in a 20' wide easement
- Drainage Items:**
- Dumpster area to drain to an oil/water separator and then to the storm system.
  - Detention will be required for additional impervious area.
  - No walls in detention. Max slope is 4:1
- Roadway Paving Items:**
- Parking to be 20'x9'
  - No dead-end parking allowed without a striped and signed "No Parking" area that is 64'x15'.
  - Drive aisles to be a min. 24' wide
  - Fire lane to have a min. radius of 20' if buildings are less than 30' tall. If any building is over 30' tall, the fire lane min. radius is 30'.
  - Fire lane to be platted
  - All public sidewalks are a minimum of 5' wide
- Landscaping:**
- No trees to be within 5' of any public water, sewer, or storm line that is less than 10" in diameter.
  - No trees to be 10' of any public water, sewer, or storm line that is 10" in diameter or greater.
  - All trees and shrubs planted adjacent to 18' parking spaces shall be planted 4' from back of curb or make these parking spaces 20'x9'

**CORGAN**  
CORGAN  
Dallas, TX 75202  
T: 214.748.2000

ISSUES	
11/11/22	30% CHECK SET
REVISIONS	

**GLENN ENGINEERING**  
GLENN ENGINEERING  
TEXAS REGISTRATION # F-303 HUB # 175257193300  
PHONE (972) 717-8191 FAX (972) 717-2176  
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON November 14, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

**Rochell Elementary School Replacement**  
899 Rochell Ct.  
Rockwall, TX 75032

OVERALL SITE PLAN

JOB 22285.0000  
DATE 11/11/2022  
SHEET

**C05.00**

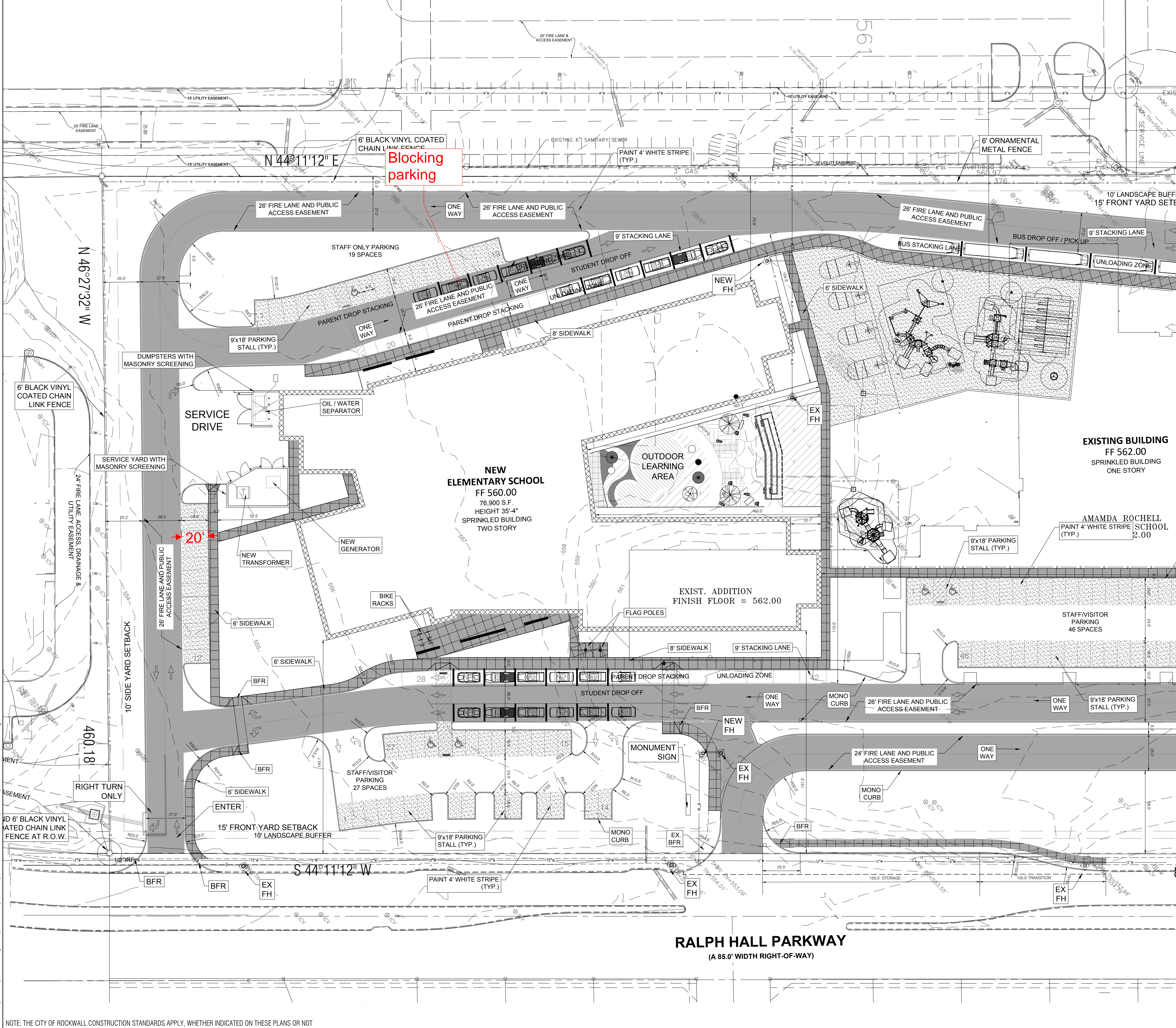
# Rochell Elementary School Replacement

899 Rochell Ct.  
Rockwall, TX 75032

## DETAILED SITE PLAN - WEST

**JOB** 22285.0000  
**DATE** 11/11/2022  
**SHEET**

**C05.01**



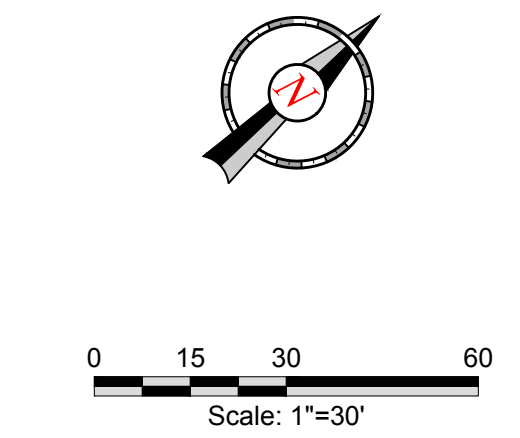
**SITE LEGEND (PROPOSED)**

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	FIRE LANE
[Symbol]	ORNAMENTAL FENCE
[Symbol]	PROPERTY LINE
[Symbol]	STORM SEWER
[Symbol]	WASTEWATER
[Symbol]	WATER
[Symbol]	PAINTED TRAFFIC DIRECTIONAL ARROW
[Symbol]	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR A PER GEOTECHNICAL REPORT
[Symbol]	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR B PER GEOTECHNICAL REPORT
[Symbol]	(CITY) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 24" CENTERS EACH WAY PER GEOTECHNICAL REPORT
[Symbol]	(TODD) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT
[Symbol]	TURF, COLOR A
[Symbol]	TURF, COLOR B
[Symbol]	PLANTING AREA
[Symbol]	RE LANDSCAPE

**SITE LEGEND (EXISTING)**

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	FENCE
[Symbol]	PROPERTY LINE
[Symbol]	WASTEWATER
[Symbol]	STORM SEWER
[Symbol]	WATER

MATCH LINE RE: C05.02 - DETAILED SITE PLAN - EAST



**BENCHMARKS**

CITY OF ROCKWALL BENCHMARK COR-4 ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON ROAD, + 210 WEST OF INTERSECTION OF SH 205 AND DALTON ROAD, + 10' NORTH OF NORTH CURB LINE. N: 17040336.992 E: 2592422.633 ELEVATION 541.67
CITY OF ROCKWALL BENCHMARK COR-12 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD, WEST AT THE NORTHWEST CORNER OF A CURB INLET + 250 NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE. N: 1037197.891 E: 2592384.786 ELEVATION 497.13
ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL" N: 703829.914 E: 2600421.475 ELEVATION 537.556
ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL" N: 7037384.481 E: 2600384.414 ELEVATION 543.145

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2022. WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2022-017

User: Robert  
Nov 14, 2022 - 10:34am  
D:\Public\Bobb's Projects\ROCKWALL\Rockwell\2022 REPLACEMENT\BIDSET\ROCHELL ES-ENG.dwg

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 899 Rochell Ct, Rockwall, TX 75032

SUBDIVISION A0064 E P G CHISUM, TRACT 17-01

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE public school

PROPOSED ZONING AG

PROPOSED USE public school

ACREAGE 11.605

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall ISD

APPLICANT Glenn Engineering

CONTACT PERSON Will Salee

CONTACT PERSON Robert Howman

ADDRESS 1050 Williams St.,

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE Phone 972-771-0605

PHONE 972.989.2174

E-MAIL Will.Salee@rockwalliso.org

E-MAIL rahowman@glennengineering.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Will Salee [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

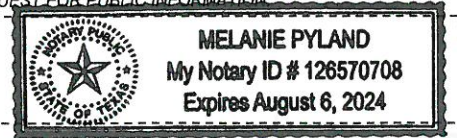
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ TBD TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE TBD DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF November, 20 22

OWNER'S SIGNATURE

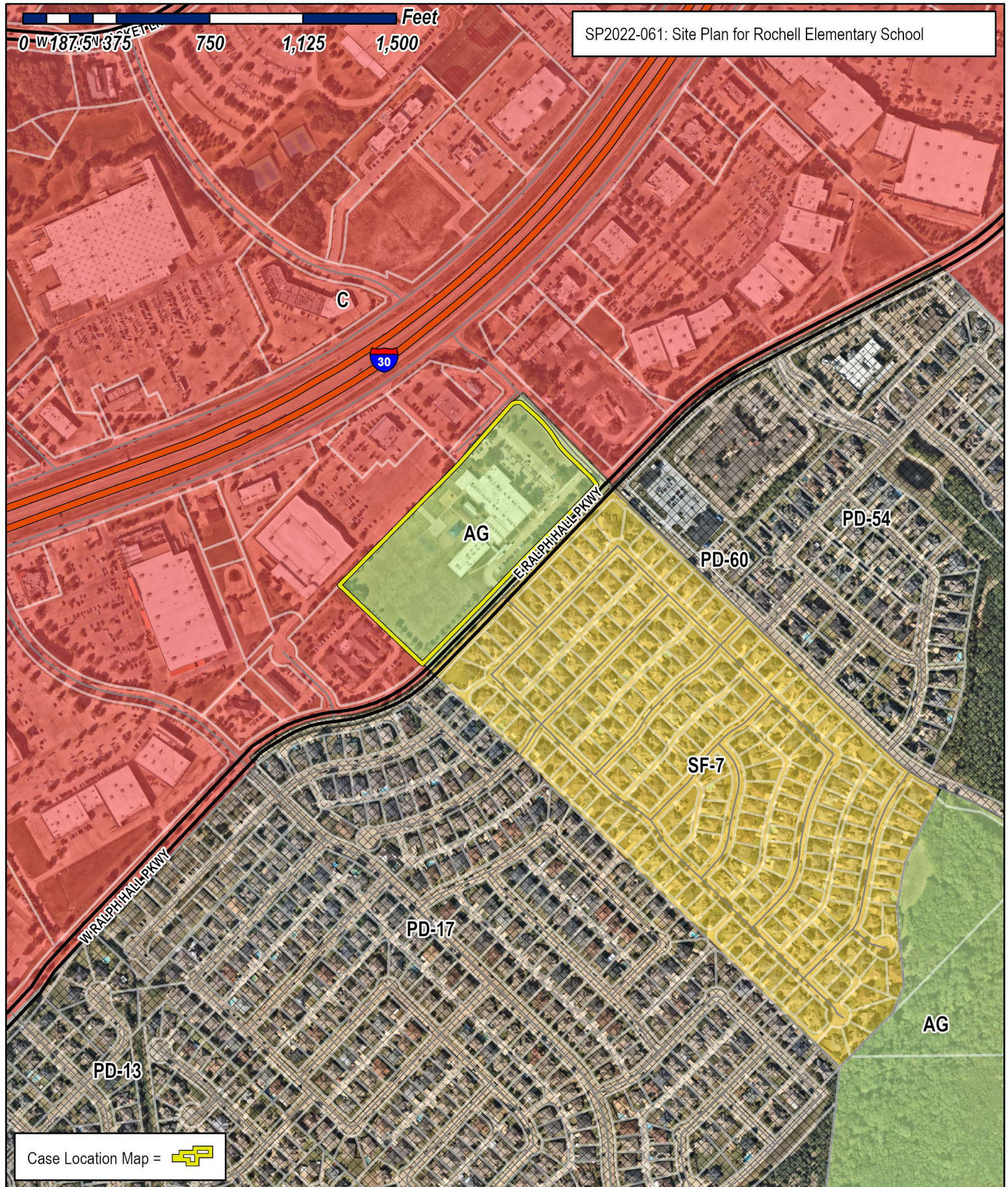
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


Melanie Pyland



MY COMMISSION EXPIRES August 6, 2024





Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



November 14, 2022

Bethany Ross  
City of Rockwall  
385 S. Goliad Street  
Rockwall, Texas 75087

Rockwall ISD – Rochell Elementary School Replacement  
Project Number: TBD  
Request for: Masonry Percentage & Landscape Variances

Dear Ms. Ross:

### **Masonry Percentage Variance**

We are requesting a variance from the masonry percentage requirements per the IH-30 Overlay District for the Rockwall ISD Rochell Elementary School Replacement. Per the overlay district requirements, we are to have 90% masonry materials on exterior elevations and 20% of that masonry is to be stone. Currently, 3 of our 4 overall elevations meet the stone requirement and 2 of our 4 overall elevations meet the 90% masonry requirement.

The North facing elevation, adjacent to retail lot north of the site, exceeds the required percentage of stone at 32% but only has a total masonry percentage of 77%. The South facing elevation, adjacent to Ralph Hall Parkway, exceeds the required percentage of stone at 22% but only has a total masonry percentage of 76%. This is due to the use of wood-look phenolic panel and increase in glazing, and the use of metal panel on these facades. Both facades are the entrances into the school, with the North being the secondary (bus drop off entrance) and the South being the main entrance into the school. As the entrances into these school, these are being treated to have lighter materials (i.e., glass and wood look phenolic panels) to give an open and welcoming feeling to those entering. The use of strategic security systems will mitigate the vulnerability of traditionally glazed systems. Special attention has been paid to the north façade glazing in order to mitigate visibility into the cafeteria from the retail parking lot to the North. The metal panel used is located on walls that are set far back from the face of the building and located up on the roof. The location and set back of these walls make it so the majority of the metal wall panel isn't visible from ground level.

The East facing elevation, adjacent to Mims road, meets the masonry percentage at 91%, but only has a total stone percentage of 16%. This is due to the large amount of glazing used on this façade. This glazing continues the feel of openness that the District desires in the student exterior courtyard space. This transparent glazing that otherwise would be largely masonry, reduces the overall percentage of masonry on this elevation, but allows for meeting the districts goals while maintaining security and increasing visual oversight of the exterior student occupied space.

Please reference the provided samples of these materials on the exterior material boards provided to the city for review.

In addition to this natural look phenolic panel, we believe that our design meets the following compensatory measures as described in the City of Rockwall Unified Development Code, Subsection 09.01 of Article 11.

- a large outdoor student courtyard with native plantings and natural stone features.
- Increased architectural elements, such as canopies, outdoor patio/plaza space and varied roof heights.
- Two entry plazas with natural stone seating and raised planter features.

**Landscape Variance**

We are also requesting a variance from the below Landscape City Code requirements for Rockwall ISD Rochell Elementary School Replacement.

Article 08 Landscape and Fence Standards - 5.01 Landscape Buffers

This code section requires that all required trees shall be located in the landscape buffer.

We are requesting to utilize existing and proposed trees for required landscape buffer trees that are located between the street and parking but that are not located in the landscape buffer. This provides a more park like setting for the school. This also allows for more sunlight to reach the ground and reduce shade out of grass which causes erosion.

Appendix C Landscape Guidelines - Section 04 Recommended tree Varieties

We are requesting that the existing Crape Myrtle trees, not in recommended tree list by the City, be allowed to be used towards the required ornamental trees for the developed site.

Article 09 Tree Preservation - Subsection 01.03 Exemptions

(B) Damaged/Diseased Trees

(D) Public Safety

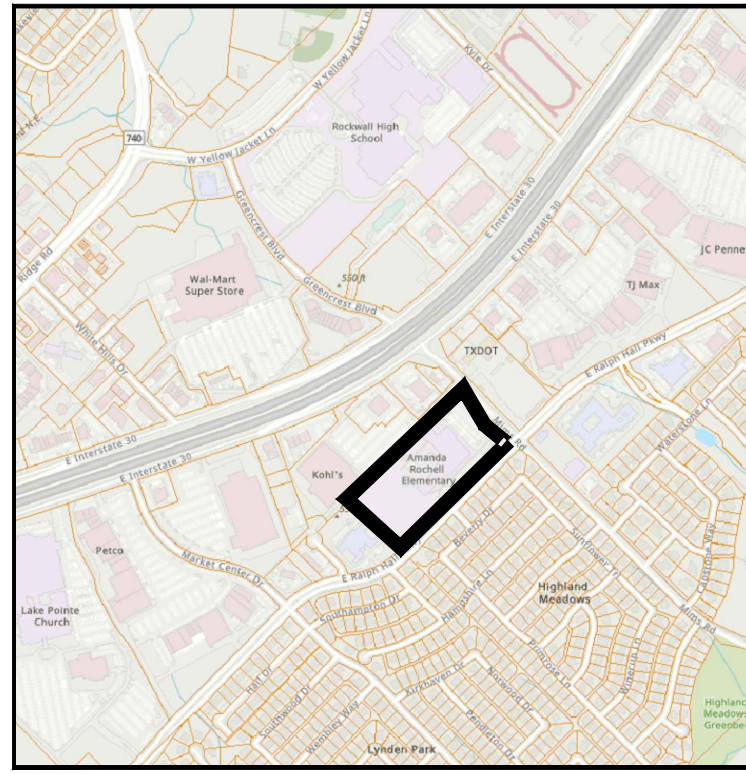
We are requesting that an exception be provided for the tree mitigation of all the Pear trees on site due to falling branches and public safety. Trees have already lost several limbs and will continue to do so. Trees are at the limits of their life span, and many have rot where branches meet the trunk. The limbs on these trees could pose a risk of falling in the future.

We thank you for your consideration of this exception. We would be happy to answer any further questions regarding this material and our design for the Rockwall ISD Rochell Elementary School Replacement.

Sincerely,



**BEVERLY FORNOF, AIA**  
Project Manager — Senior Associate  
Corgan



VICINITY MAP  
(NOT TO SCALE)

**BENCHMARKS**

CITY OF ROCKWALL BENCHMARK COR-4  
ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON RD. +.210 WEST OF INTERSECTION OF SH 205 AND DALTON RD. +.10 NORTH OF NORTH CURB LINE.  
N:7040336.992 E:292422.633 ELEVATION 541.67

CITY OF ROCKWALL BENCHMARK COR-12  
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD. WEST AT THE NORTHWEST CORNER OF A CURB INLET +.250 NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE.  
N:7037197.891 E:292384.786 ELEVATION 497.13

ONSITE BENCHMARK  
CAPPED IRON ROD LABELED "BOWMAN CONTROL."  
N:7036823.314 E:2600421.475 ELEVATION 537.556

ONSITE BENCHMARK  
CAPPED IRON ROD LABELED "BOWMAN CONTROL."  
N:7037384.481 E:2600384.414 ELEVATION 543.145

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**GENERAL SITE NOTES**

1. STRIPING & SIGNAGE DIMENSIONS ARE FROM FACE OF CURB.
2. ALL FIRE LANES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS. TYP.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
5. ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
6. IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY. IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
7. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
8. TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
9. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
10. MARK FIRE LANES TO THE CITY OF ROCKWALL SPECIFICATION: "NO PARKING FIRE LANE" EVERY 25' WHITE 4" LETTERS ON A 6" RED STRIPED BACKGROUND.
11. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
12. BARRIER FIRE RAMP (BFR) IN PUBLIC D.O.W. SHALL BE PER CITY SPECIFICATIONS.
13. ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 1FOOT-CANDLE OR LESS.



ISSUES  
11/11/22 30% CHECK SET

REVISIONS



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 350569, ON November 14, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

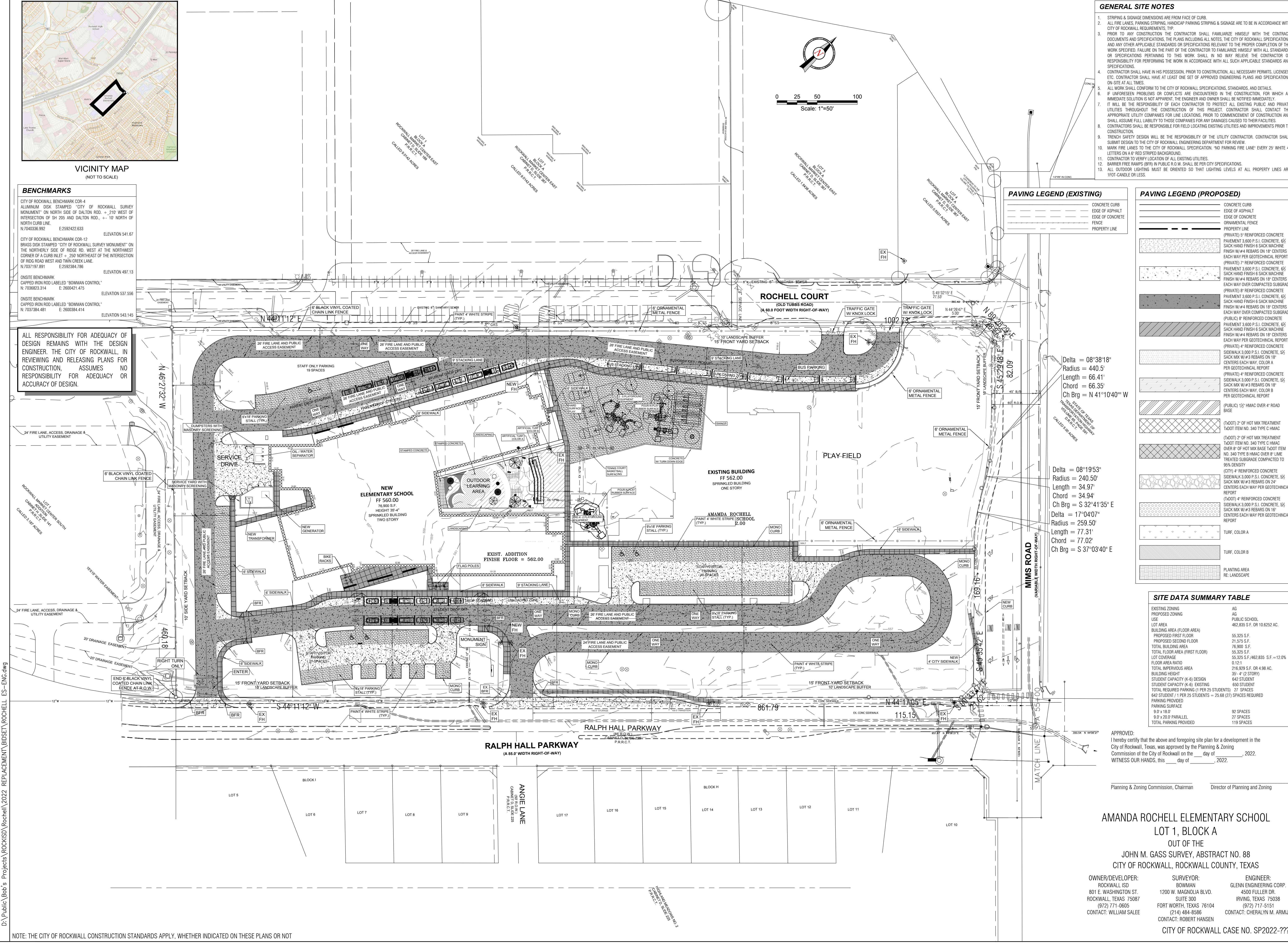
# Rochell Elementary School Replacement

899 Rochell Ct. Rockwall, TX 75032

## OVERALL SITE PLAN

**JOB** 22285.0000  
**DATE** 11/11/2022  
**SHEET**

# C05.00



**PAVING LEGEND (EXISTING)**

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE
- PROPERTY LINE

**PAVING LEGEND (PROPOSED)**

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- ORNAMENTAL FENCE
- PROPERTY LINE
- (PRIVATE) 5" REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE, 6/8" SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT (PRIVATE) 7" REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE, 6/8" SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY OVER COMPACTED SUBGRADE (PRIVATE) 8" REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE, 6/8" SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY OVER COMPACTED SUBGRADE (PUBLIC) 8" REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE, 6/8" SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT (PUBLIC) 1/2" HMAC OVER 4" ROAD BASE (T&OT) 2" OF HOT MIX TREATMENT T&OT ITEM NO. 340 TYPE C HMAC (T&OT) 2" OF HOT MIX TREATMENT T&OT ITEM NO. 340 TYPE C HMAC OVER 8" OF HOT MIX BASE T&OT ITEM NO. 340 TYPE B HMAC OVER 8" LIME TREATED SUBGRADE COMPACTED TO 95% DENSITY (CITY) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT (T&OT) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT TURF, COLOR A TURF, COLOR B PLANTING AREA RE: LANDSCAPE

Delta = 08°38'18"  
Radius = 440.5'  
Length = 66.41'  
Chord = 66.35'  
Ch Brg = N 41°10'40" W

Delta = 08°19'53"  
Radius = 240.50'  
Length = 34.97'  
Chord = 34.94'  
Ch Brg = S 32°41'35" E

Delta = 17°04'07"  
Radius = 259.50'  
Length = 77.31'  
Chord = 77.02'  
Ch Brg = S 37°03'40" E

**SITE DATA SUMMARY TABLE**

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	462,835 S.F. OR 10.6252 AC.
BUILDING AREA (FLOOR AREA)	55,325 S.F.
PROPOSED FIRST FLOOR	21,575 S.F.
TOTAL BUILDING AREA	76,900 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	55,325 S.F.
LOT COVERAGE	55,325 S.F./462,835 S.F. = 12.0%
FLOOR AREA RATIO	0.121
TOTAL IMPERVIOUS AREA	216,929 S.F. OR 4.98 AC.
BUILDING HEIGHT	35'-4" (2 STORY)
STUDENT CAPACITY (K-6) DESIGN	642 STUDENT
STUDENT CAPACITY (K-6) EXISTING	650 STUDENT
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	27 SPACES
642 STUDENT / 1 PER 25 STUDENTS = 25.68 (27) SPACES REQUIRED	
PARKING PROVIDED	
PARKING SURFACE	92 SPACES
9.0 x 18.0'	27 SPACES
9.0 x 20.0' PARALLEL	119 SPACES
TOTAL PARKING PROVIDED	

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_ 2022. WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_ 2022.

Planning & Zoning Commission, Chairman      Director of Planning and Zoning

AMANDA ROCHELL ELEMENTARY SCHOOL  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087  
(972) 771-0605  
CONTACT: WILLIAM SALEE

SURVEYOR: BOWMAN  
1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
4500 FULLER DR. IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-???

User: Robert  
D:\Public\Bobb's Projects\RockKSD\Rockell\2022 REPLACEMENT\BIDSET\ROCHELL ES-ENG.dwg  
Nov 14, 2022 - 10:27am  
W:\Projects\2022\11-11-2022\Rockell\2022 REPLACEMENT\BIDSET\ROCHELL ES-ENG.dwg

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT



**ISSUES**

11/11/22	30% CHECK SET

**REVISIONS**


**GLENN ENGINEERING**  
TEXAS REGISTRATION # F-303 HUB # 1752579193300  
PHONE (972) 717-8191 FAX (972) 717-2176  
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON November 14, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

# Rochell Elementary School Replacement

899 Rochell Ct.  
Rockwall, TX 75032

**DETAILED SITE PLAN - WEST**

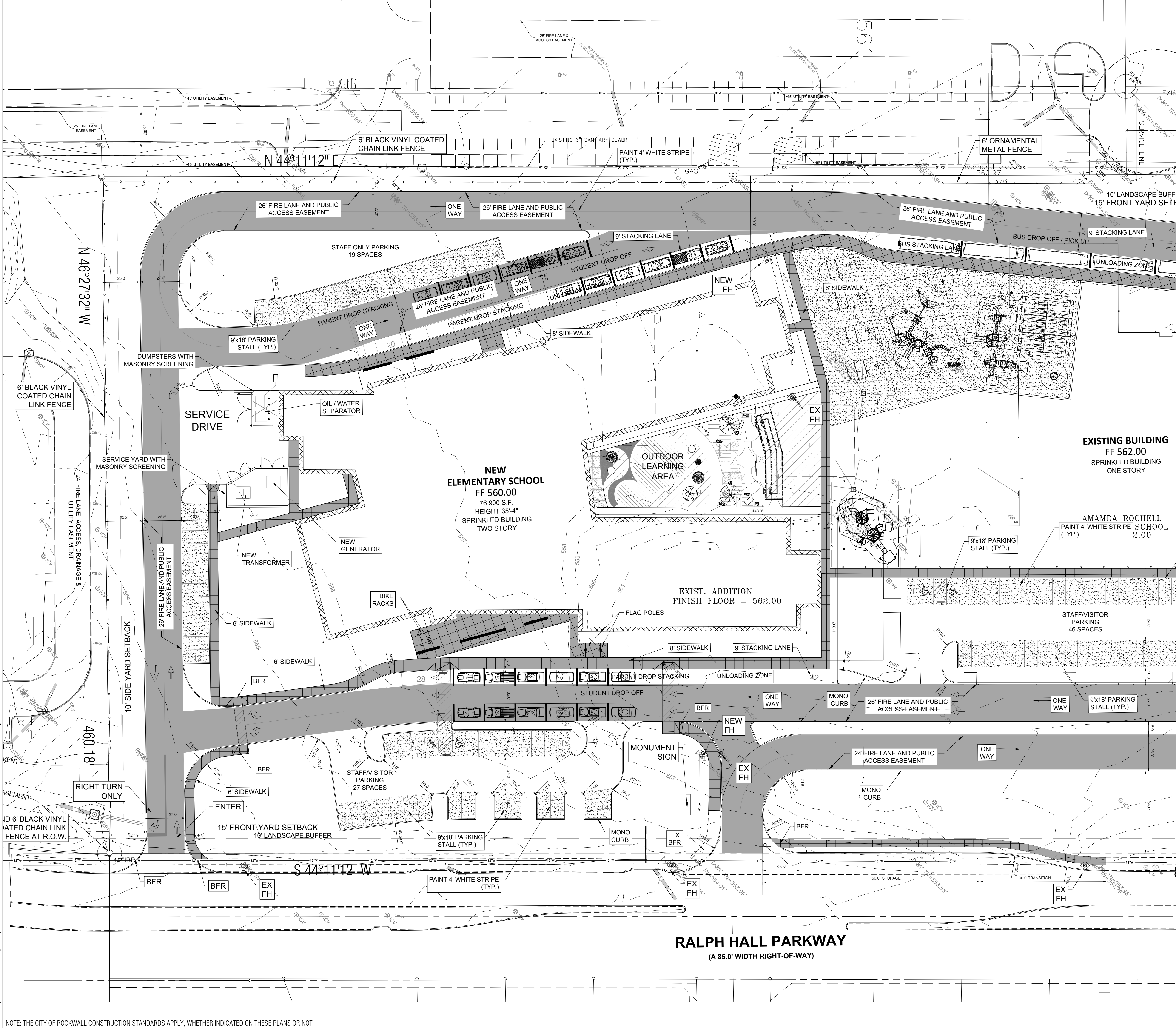
**SITE LEGEND (PROPOSED)**

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FIRE LANE
- ORNAMENTAL FENCE
- PROPERTY LINE
- STORM SEWER
- WASTEWATER
- WATER
- PAINTED TRAFFIC DIRECTIONAL ARROW (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR A PER GEOTECHNICAL REPORT
- (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR B PER GEOTECHNICAL REPORT
- (CITY) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 24" CENTERS EACH WAY PER GEOTECHNICAL REPORT
- (TODD) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT
- TURF, COLOR A
- TURF, COLOR B
- PLANTING AREA
- RE LANDSCAPE

**SITE LEGEND (EXISTING)**

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE
- PROPERTY LINE
- WASTEWATER
- STORM SEWER
- WATER

MATCH LINE RE: C05.02 - DETAILED SITE PLAN - EAST



**BENCHMARKS**

CITY OF ROCKWALL BENCHMARK COR-4  
ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON ROAD, + 210' WEST OF INTERSECTION OF SH 205 AND DALTON ROAD, + 10' NORTH OF NORTH CURB LINE.  
N: 7040336.992 E: 2592422.633 ELEVATION 541.67

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BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD, WEST AT THE NORTHWEST CORNER OF A CURB INLET + 250' NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE.  
N: 7037197.891 E: 2592384.786 ELEVATION 497.13

ONSITE BENCHMARK  
CAPPED IRON ROD LABELED "BOWMAN CONTROL"  
N: 7038829.914 E: 2600421.475 ELEVATION 537.556

ONSITE BENCHMARK  
CAPPED IRON ROD LABELED "BOWMAN CONTROL"  
N: 7037384.481 E: 2600384.414 ELEVATION 543.145

Scale: 1"=30'

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2022.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
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SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

ENGINEER:  
GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017

**JOB** 22285.0000  
**DATE** 11/11/2022  
**SHEET** C05.01

Nov 14, 2022 - 10:34am  
User: Robert  
D:\Public\Bobb's Projects\ROCKISD\Rockell\2022 REPLACEMENT\BIDSET\ROCHELL ES-ENG.dwg

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

- GENERAL SITE NOTES**
- STRIPING & SIGNAGE DIMENSIONS ARE FROM FACE OF CURB.
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  - ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE FOOT-CANDLE OR LESS.

**PAVING LEGEND (PROPOSED)**

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	ORNAMENTAL FENCE
	PROPERTY LINE
	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR A PER GEOTECHNICAL REPORT
	TURF, COLOR A
	TURF, COLOR B
	PLANTING AREA RE LANDSCAPE

**ISSUES**

11/11/22	30% CHECK SET
----------	---------------

**REVISIONS**

--	--

**GLENN ENGINEERING**  
TEXAS REGISTRATION # F-303 HUB # 1752579193300  
PHONE (972) 717-6161 FAX (972) 717-2176  
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON November 14, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

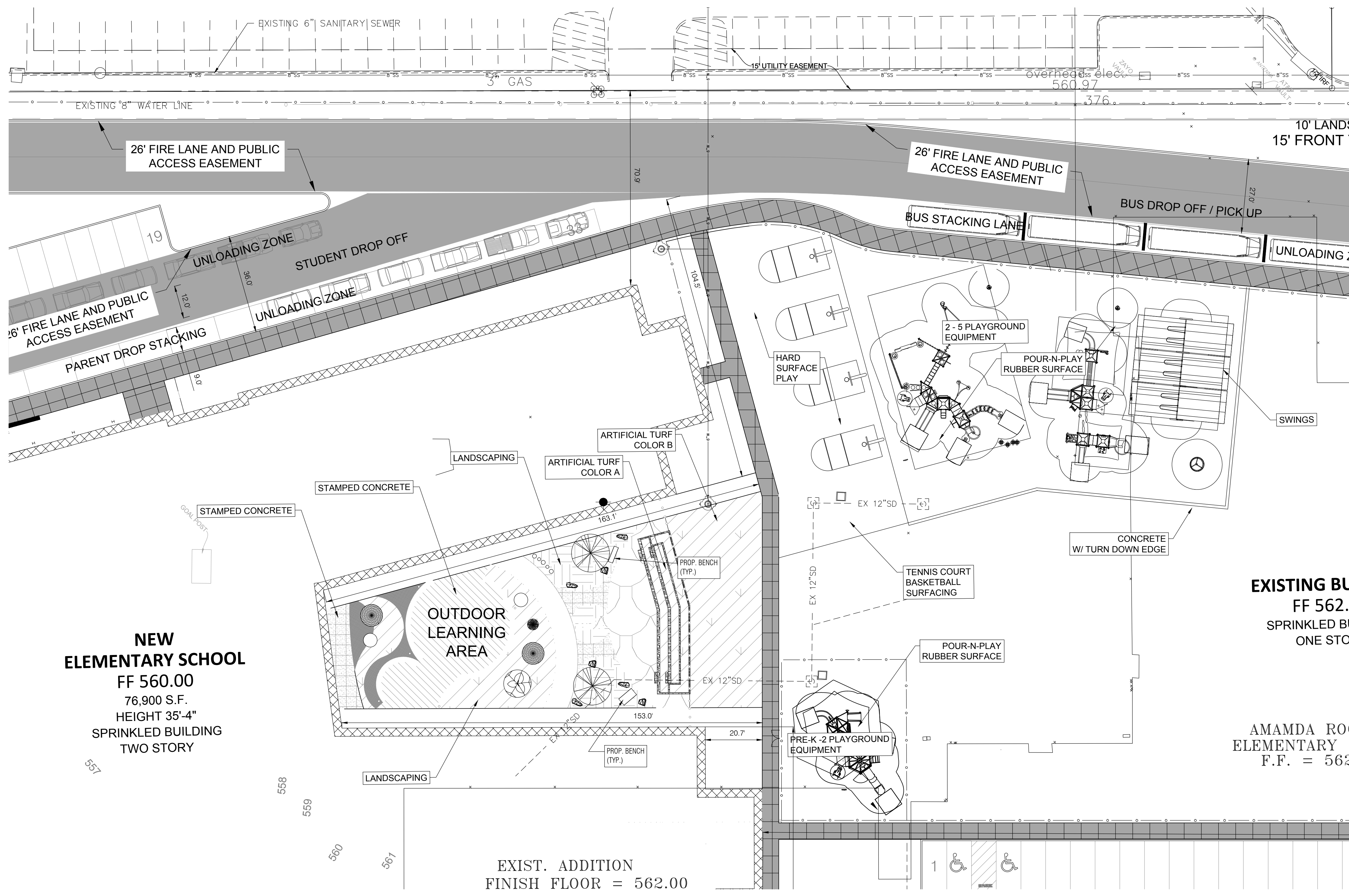
# Rochell Elementary School Replacement

899 Rochell Ct.  
Rockwall, TX 75032

PAVING PLAN - COURTYARD

JOB 22285.0000  
DATE 11/11/2022  
SHEET

## C06.02

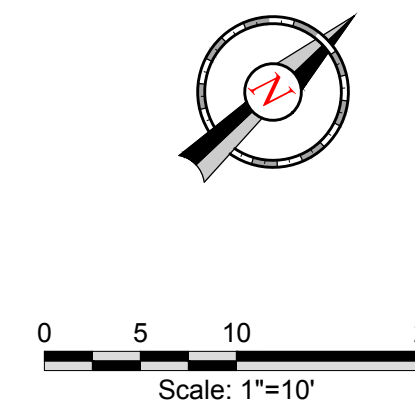


**NEW ELEMENTARY SCHOOL**  
FF 560.00  
76,900 S.F.  
HEIGHT 35'-4"  
SPRINKLED BUILDING  
TWO STORY

EXIST. ADDITION  
FINISH FLOOR = 562.00

EXISTING BUILDING  
FF 562.00  
SPRINKLED BUILDING  
ONE STORY

AMANDA ROCHELL  
ELEMENTARY SCHOOL  
FINISH FLOOR = 562

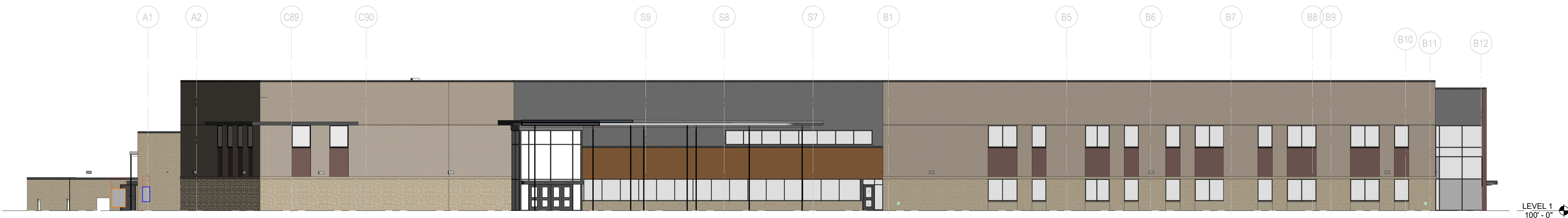


**BENCHMARKS**

CITY OF ROCKWALL BENCHMARK COR-4 ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON RD. + 210' WEST OF INTERSECTION OF 841 205 AND DALTON RD., + 10' NORTH OF NORTH CURB LINE. N:7040336.992 E:2592422.633 ELEVATION 541.67
CITY OF ROCKWALL BENCHMARK COR-12 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD. WEST AT THE NORTHWEST CORNER OF A CURB INLET + 250' NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE. N:7037197.891 E:2592384.786 ELEVATION 497.13
ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL" N: 7036823.314 E: 2600421.475 ELEVATION 537.556
ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL" N: 7037384.481 E: 2600384.414 ELEVATION 543.145

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT



**02** EXTERIOR ELEVATION - OVERALL - SOUTH  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE:	12,121 SF	
TOTAL FACADE SF: (MINUS GLAZING/DOORS: 1,927 SF)	10,194 SF	
BRICK:	5,459 SF	(53.55%)
STONE:	2,274 SF	(22.31%)
METAL PANEL:	1,717 SF	(16.84%)
PHENOLIC PANEL:	744 SF	(7.30%)
<b>MASONRY PERCENTAGE:</b>		<b>(75.86%)</b>



**01** EXTERIOR ELEVATION - OVERALL - WEST  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE:	6,289 SF	
TOTAL FACADE SF: (MINUS GLAZING: 297 SF)	5,992 SF	
BRICK:	3,487 SF	(58.19%)
STONE:	1,991 SF	(33.23%)
METAL PANEL:	429 SF	(7.14%)
PHENOLIC PANEL:	86 SF	(1.40%)
<b>MASONRY PERCENTAGE:</b>		<b>(91.42%)</b>

**EXT. MATERIALS LEGEND**

	BR-1A		ST-1		MP-1
	BR-1B		ST-2		WDP-1
	BR-2				

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

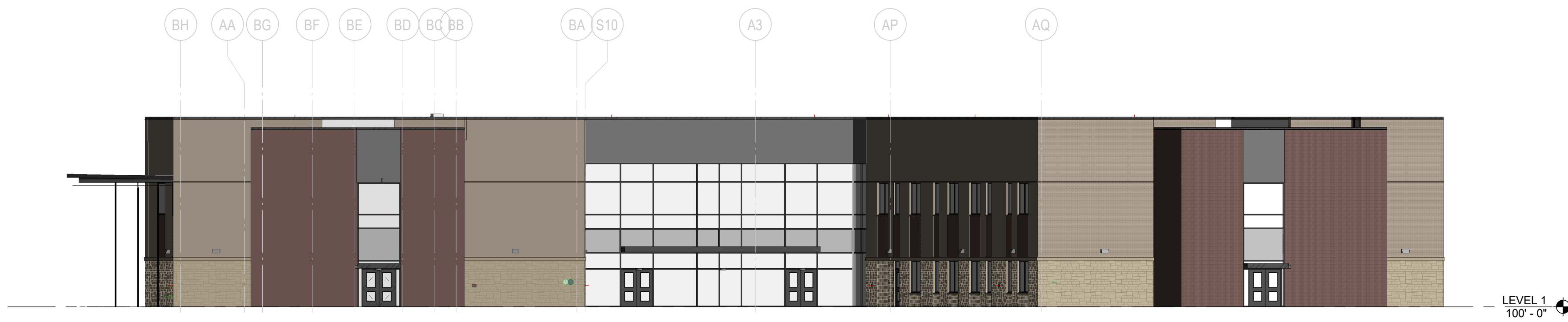


# OVERALL BUILDING ELEVATIONS

As indicated







**02** EXTERIOR ELEVATION - OVERALL - EAST  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE:	8,620 SF	
<b>TOTAL FACADE SF:</b>	<b>6,790 SF</b>	
(MINUS GLAZING/DOORS: 1,830 SF)		
BRICK:	5,088 SF	(74.93%)
STONE:	1,074 SF	(15.82%)
METAL PANEL:	628 SF	(9.25%)
PHENOLIC PANEL:	0 SF	(0.00%)
<b>MASONRY PERCENTAGE:</b>		<b>(90.12%)</b>



**01** EXTERIOR ELEVATION - OVERALL - NORTH  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE:	12,979 SF	
<b>TOTAL FACADE SF:</b>	<b>10,511 SF</b>	
(MINUS GLAZING/DOORS: 2,468 SF)		
BRICK:	4,714 SF	(44.85%)
STONE:	3,407 SF	(32.42%)
METAL PANEL:	1,553 SF	(14.77%)
PHENOLIC PANEL:	837 SF	(7.96%)
<b>MASONRY PERCENTAGE:</b>		<b>(77.27%)</b>

**EXT. MATERIALS LEGEND**


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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

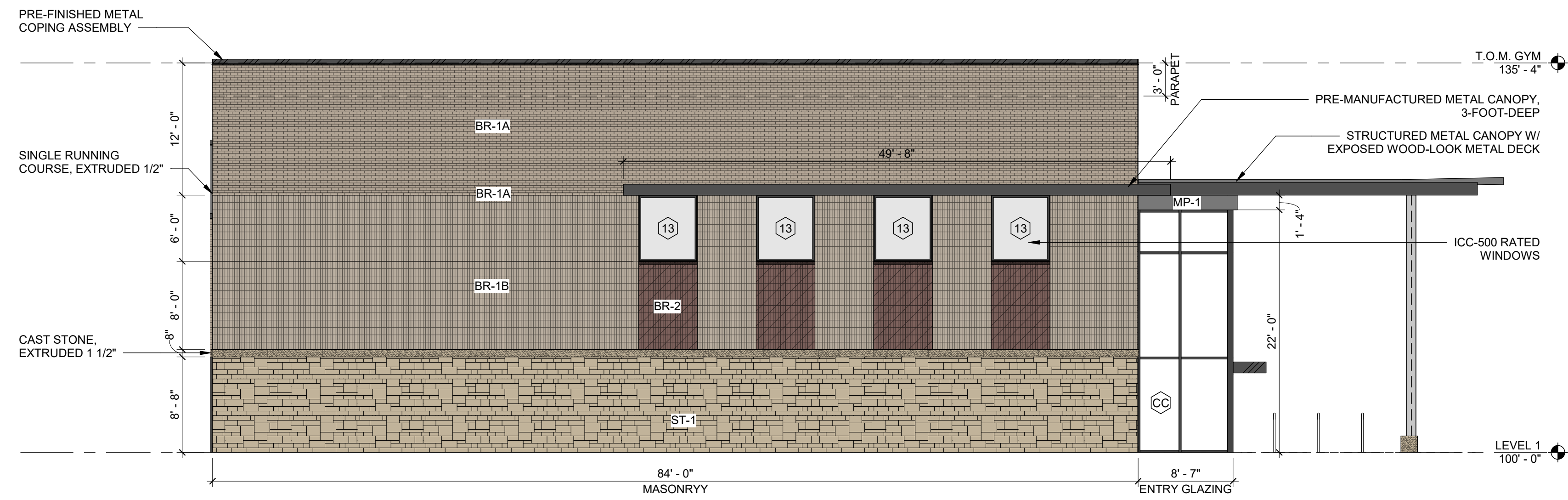
\_\_\_\_\_  
Director of Planning and Zoning



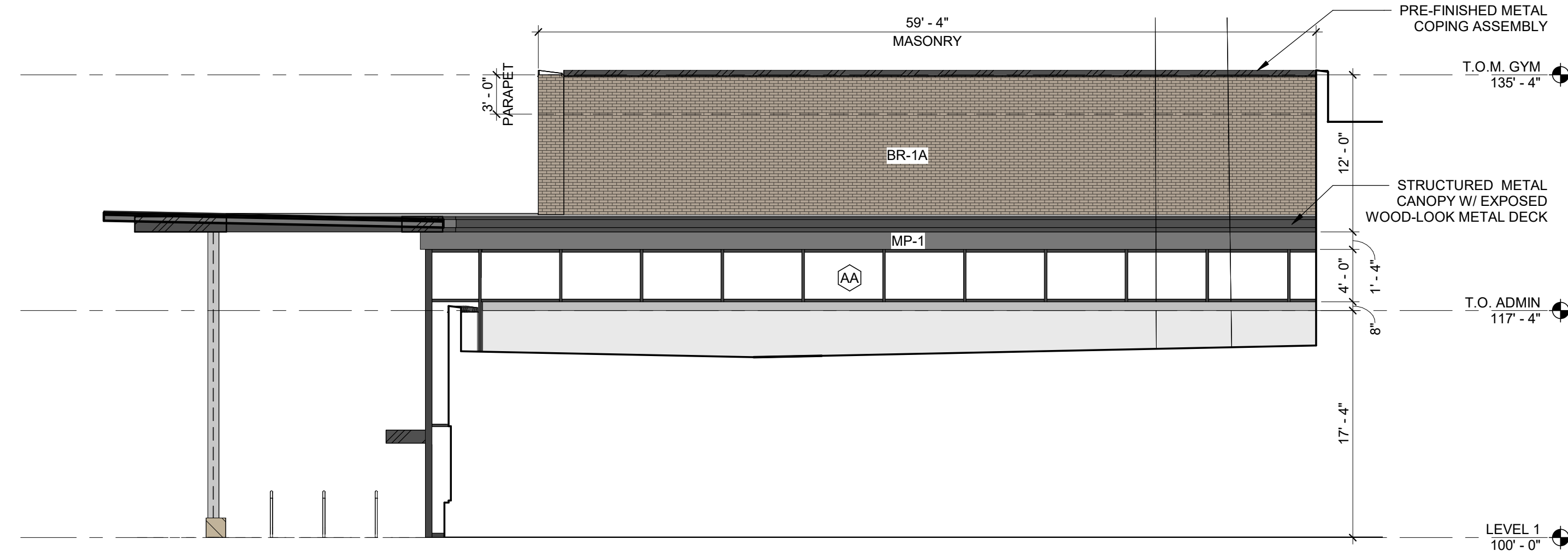
# OVERALL BUILDING ELEVATIONS

As indicated

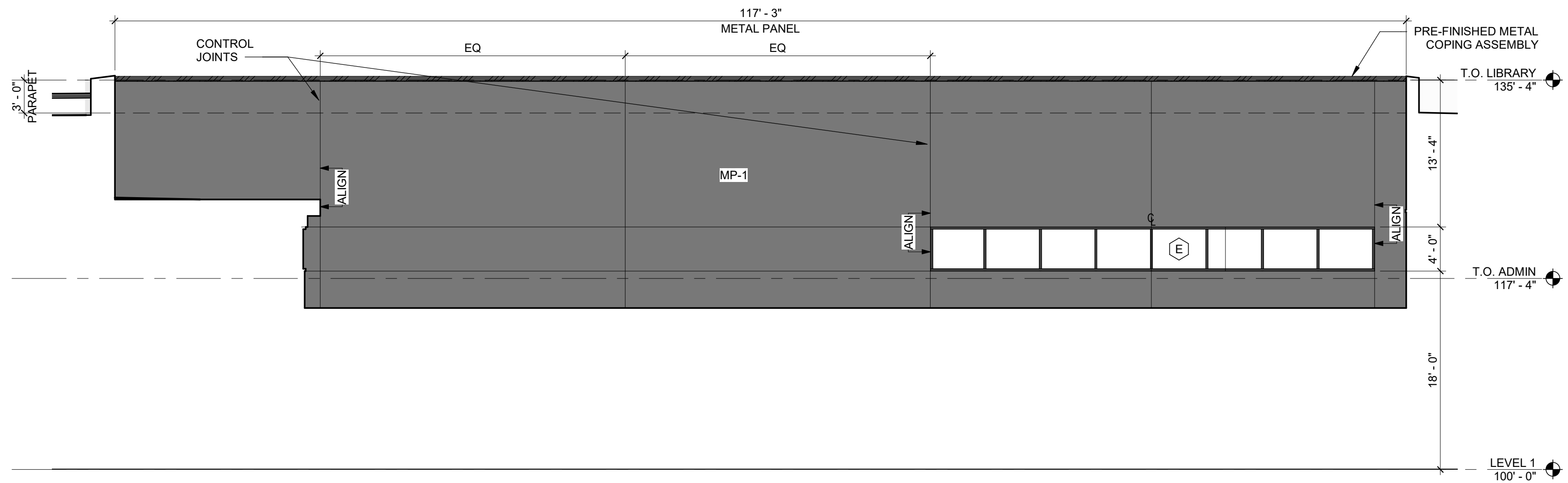




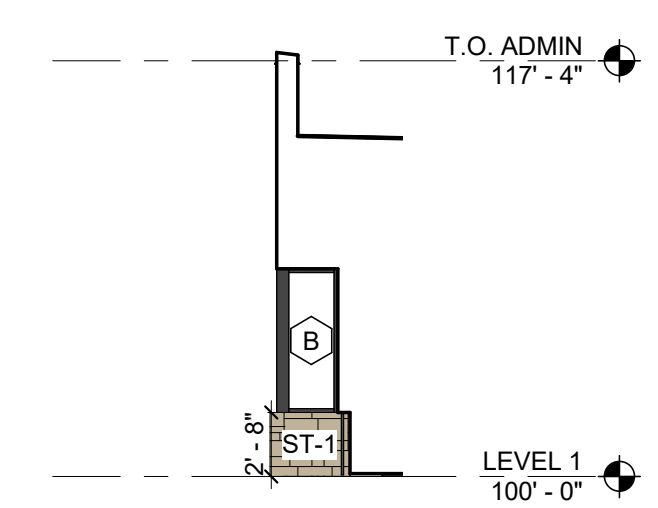
05 EXTERIOR ELEVATION - AREA A - SOUTHWEST  
1/8" = 1'-0"



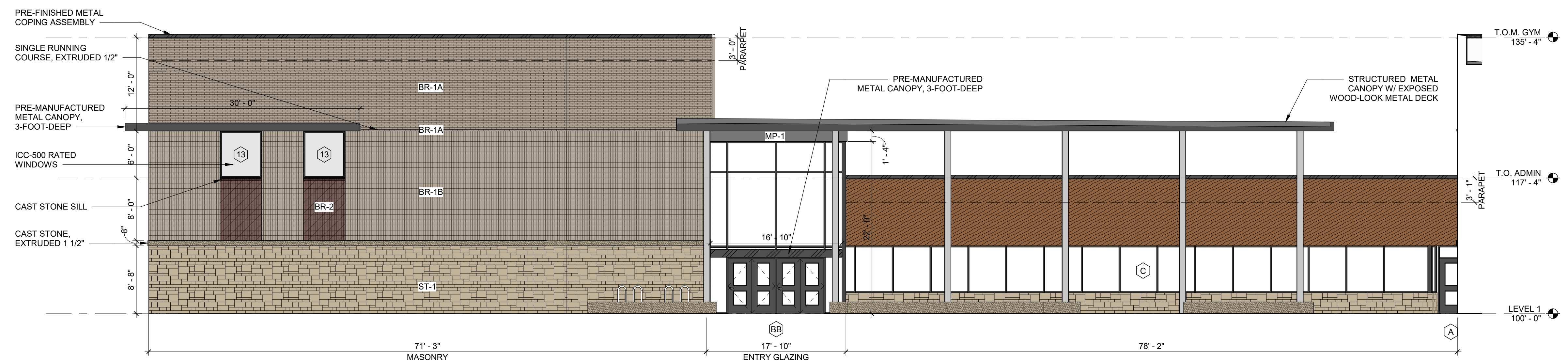
04 EXTERIOR ELEVATION - AREA A - NORTHEAST Copy 1  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - AREA A - SOUTH  
1/8" = 1'-0"



02 EXTERIOR ELEVATION - AREA A - WEST  
1/8" = 1'-0"



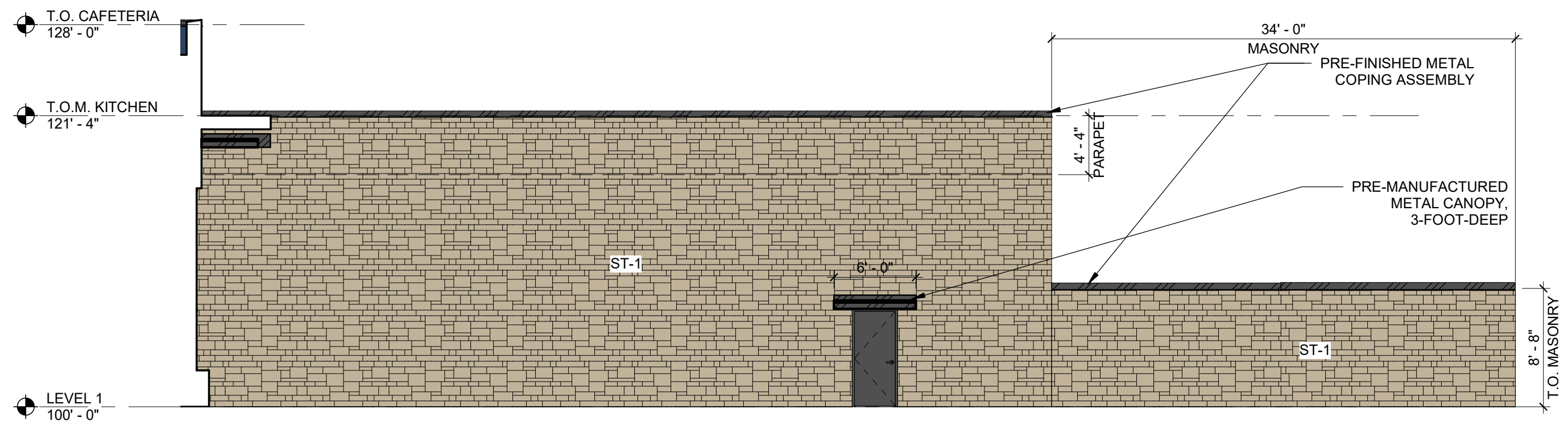
01 EXTERIOR ELEVATION - AREA A - SOUTHEAST  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	
	MP-1	

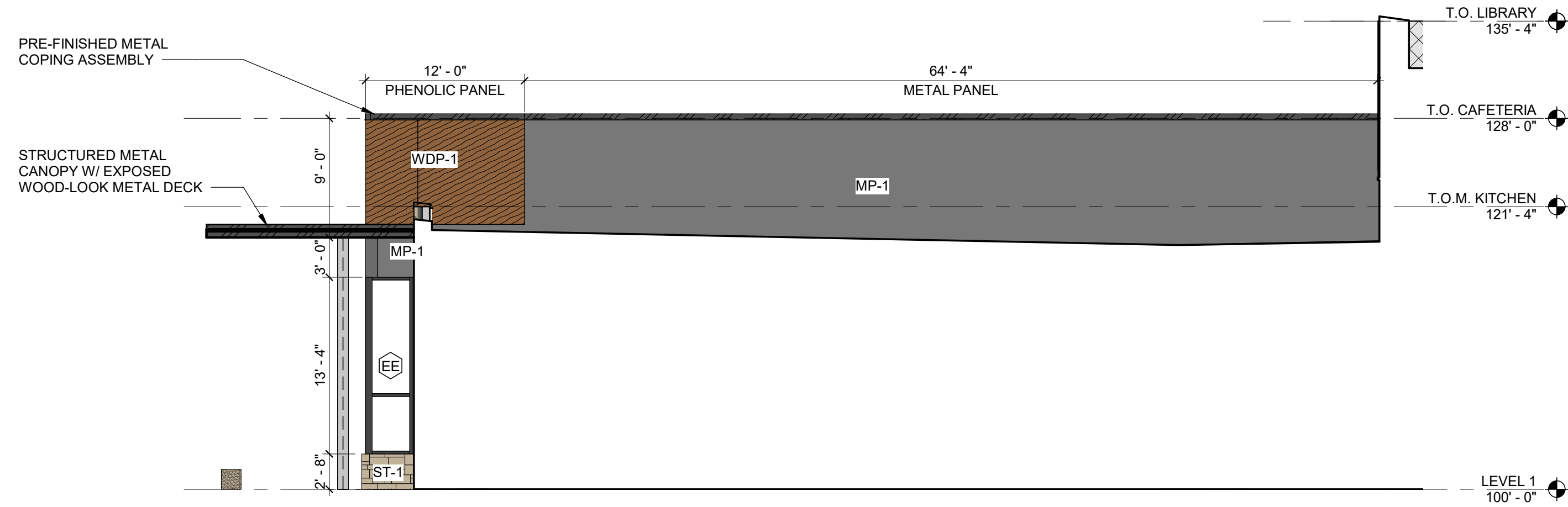
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\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

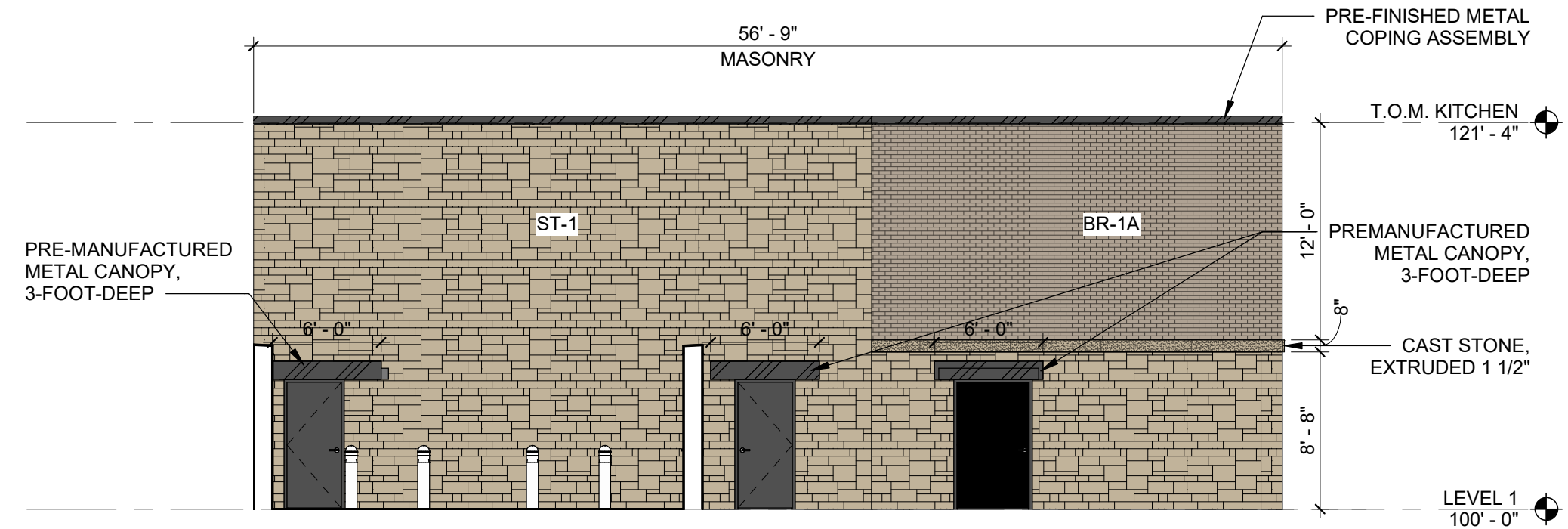




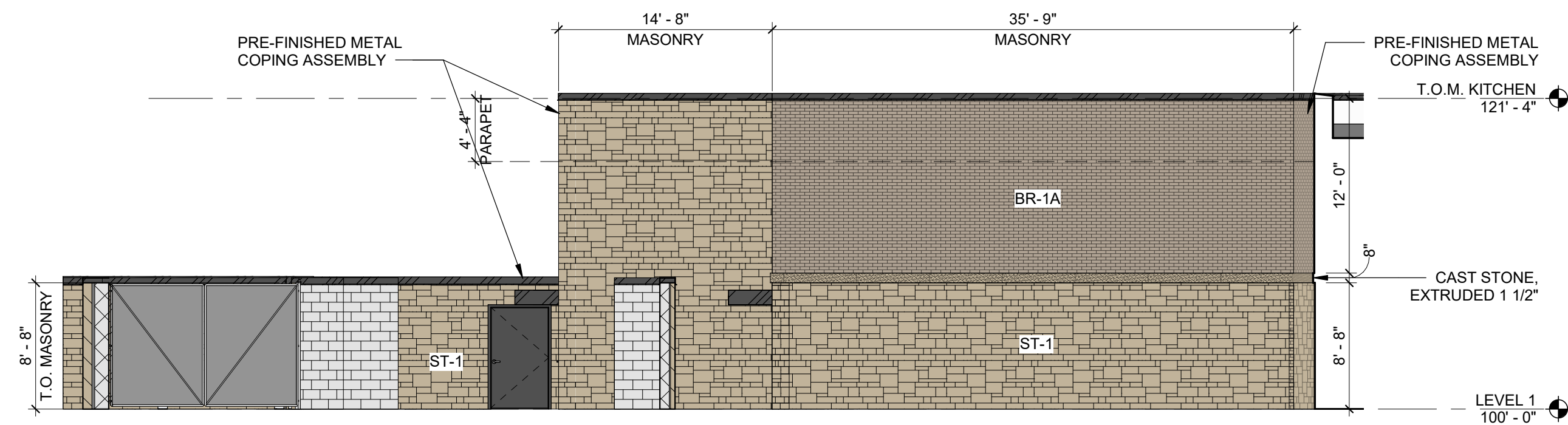
06 EXTERIOR ELEVATION - AREA A - NORTH  
1/8" = 1'-0"



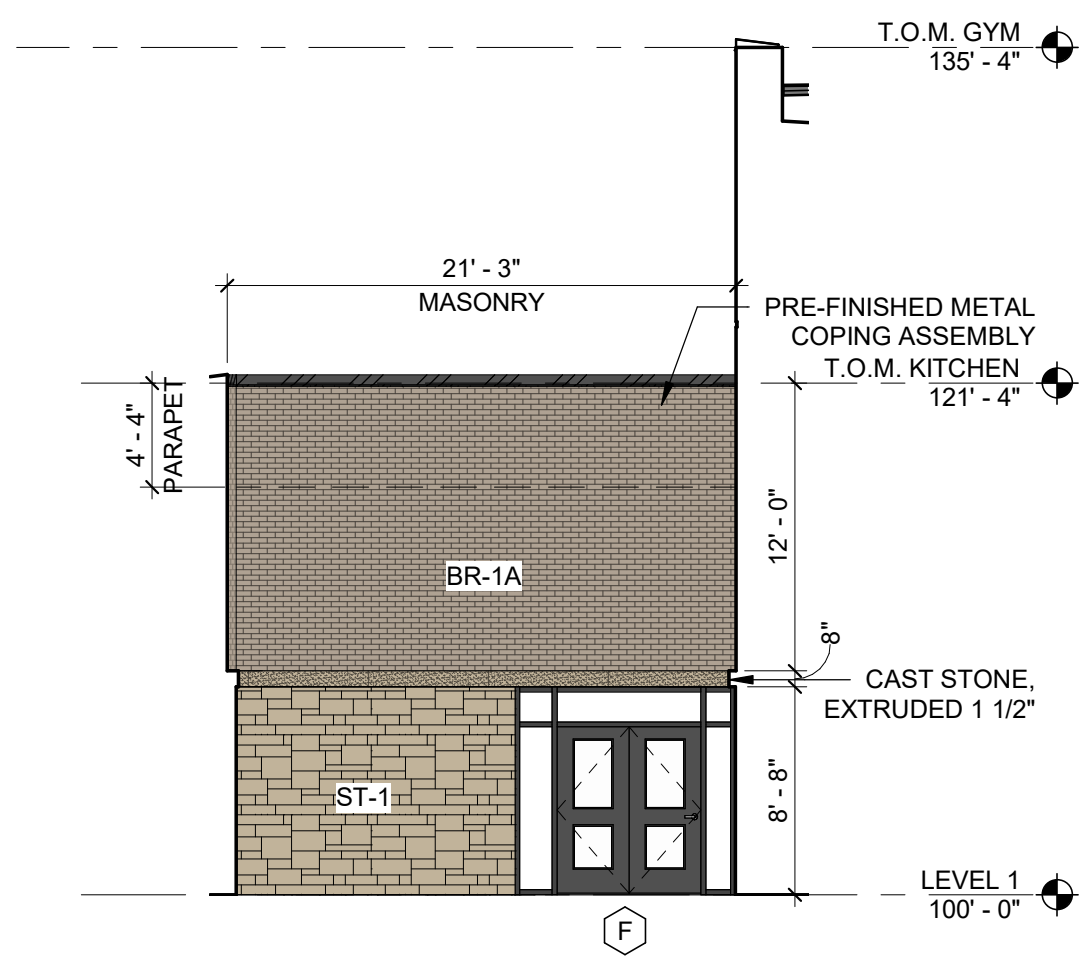
05 EXTERIOR ELEVATION - AREA A - WEST  
1/8" = 1'-0"



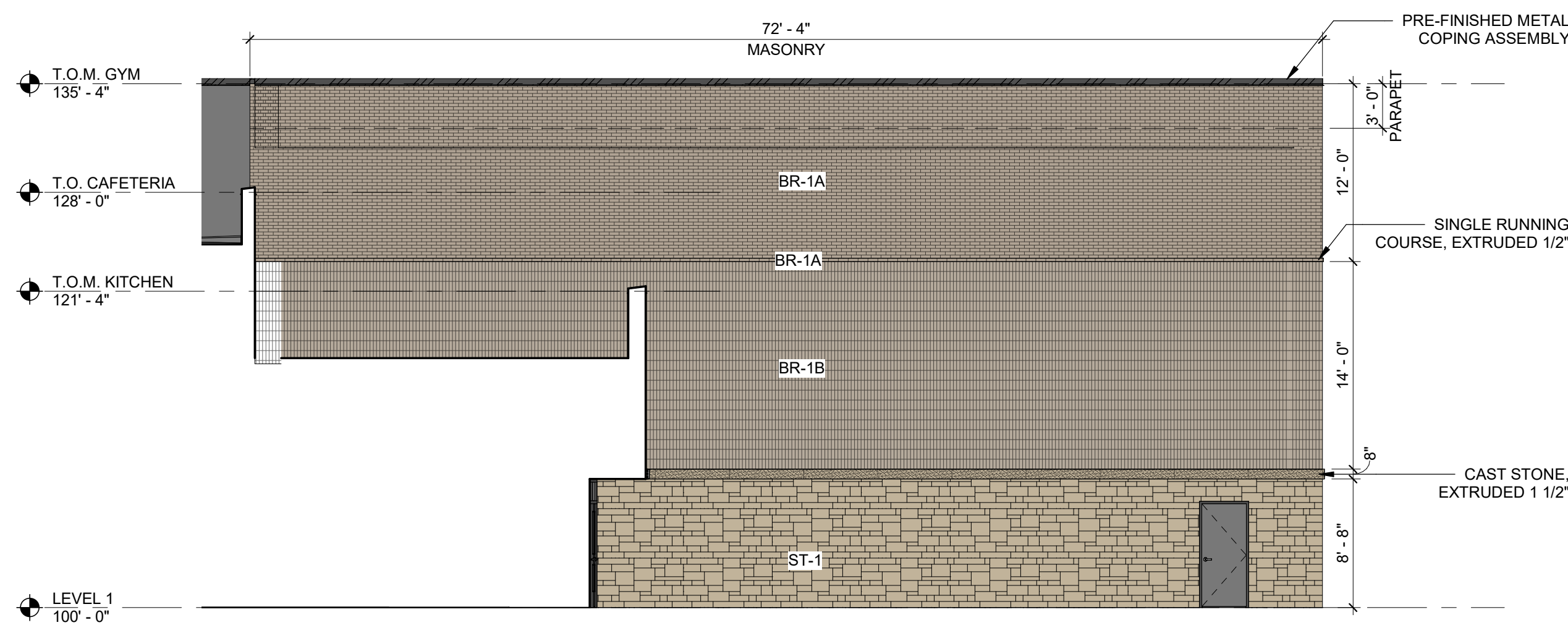
04 EXTERIOR ELEVATION - AREA A - WEST  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - AREA A - SOUTH  
1/8" = 1'-0"



02 EXTERIOR ELEVATION - AREA A - SOUTHWEST  
1/8" = 1'-0"



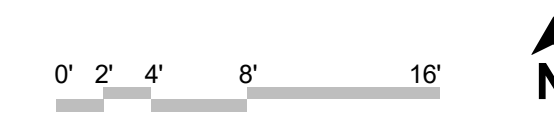
01 EXTERIOR ELEVATION - AREA A - NORTHWEST  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	

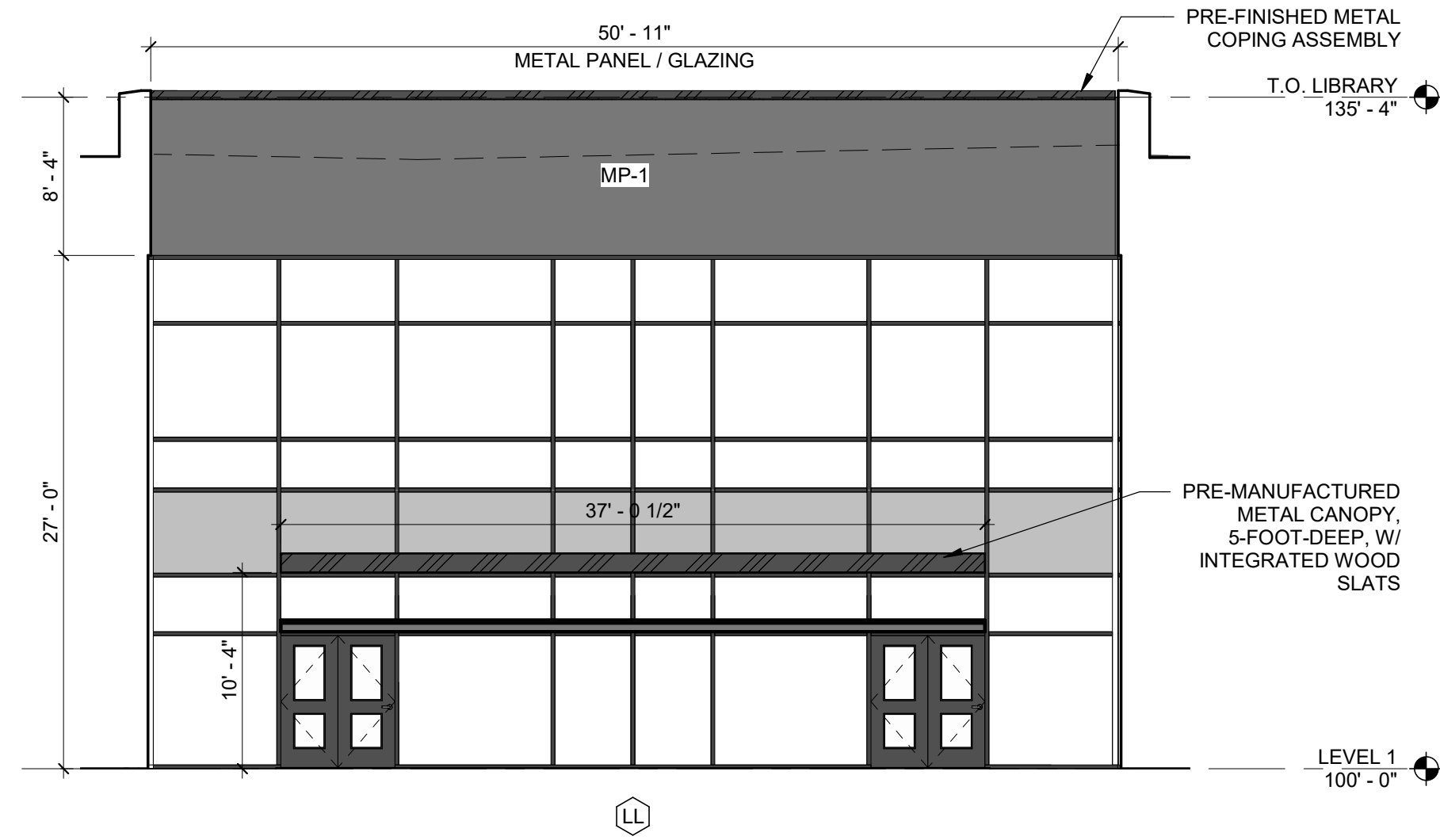
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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

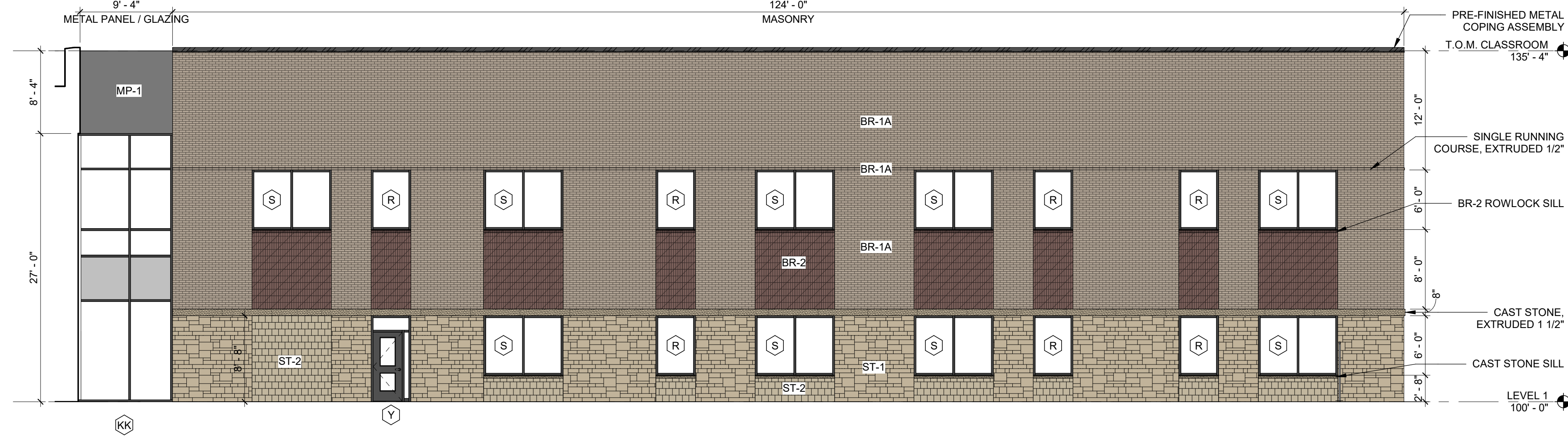
\_\_\_\_\_  
Director of Planning and Zoning



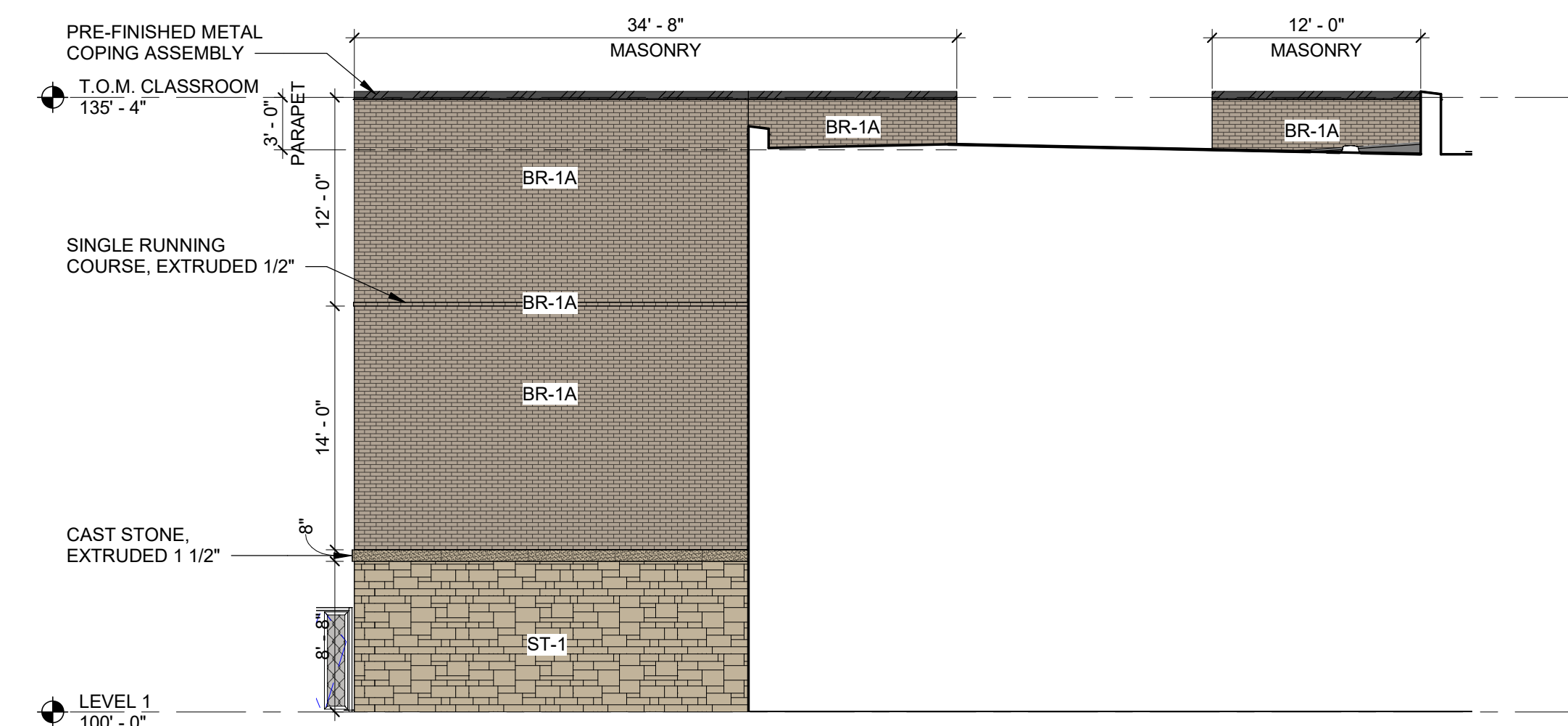




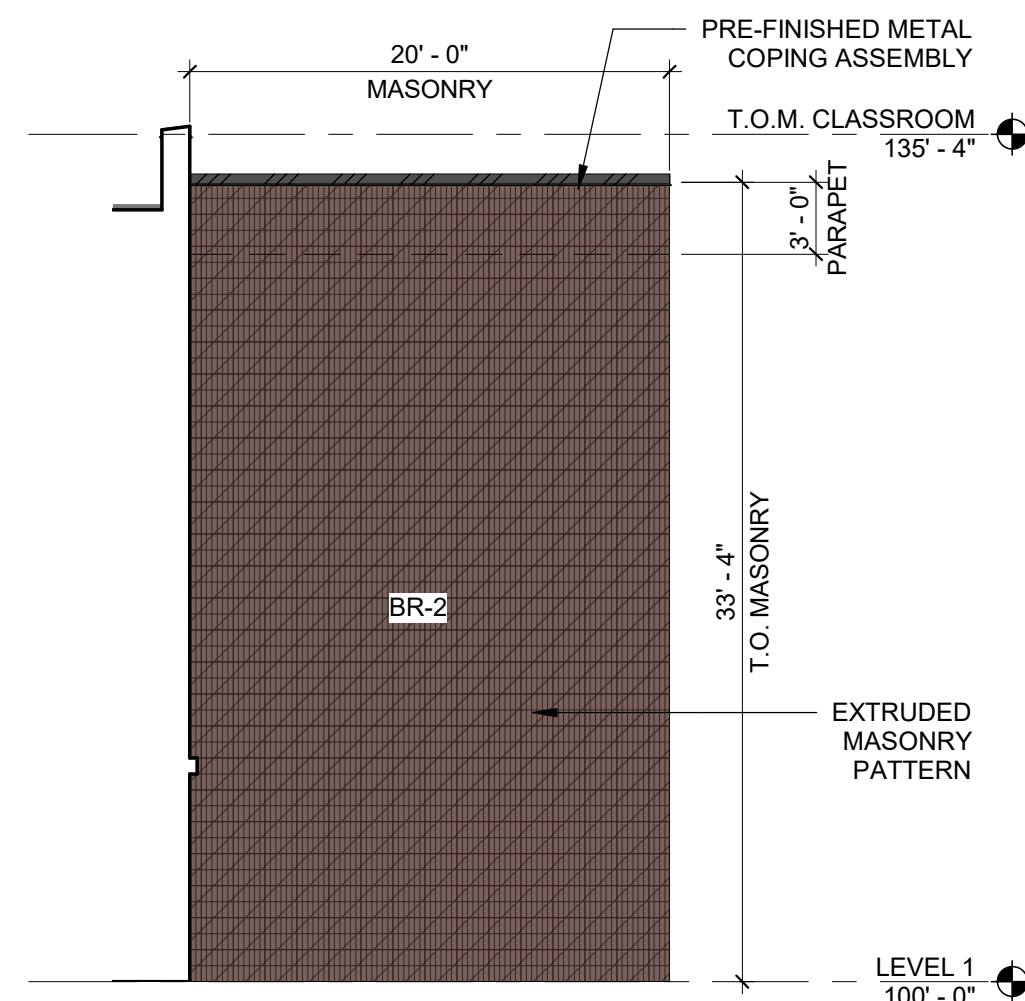
**06** EXTERIOR ELEVATION - AREA A - NORTHEAST  
1/8" = 1'-0"



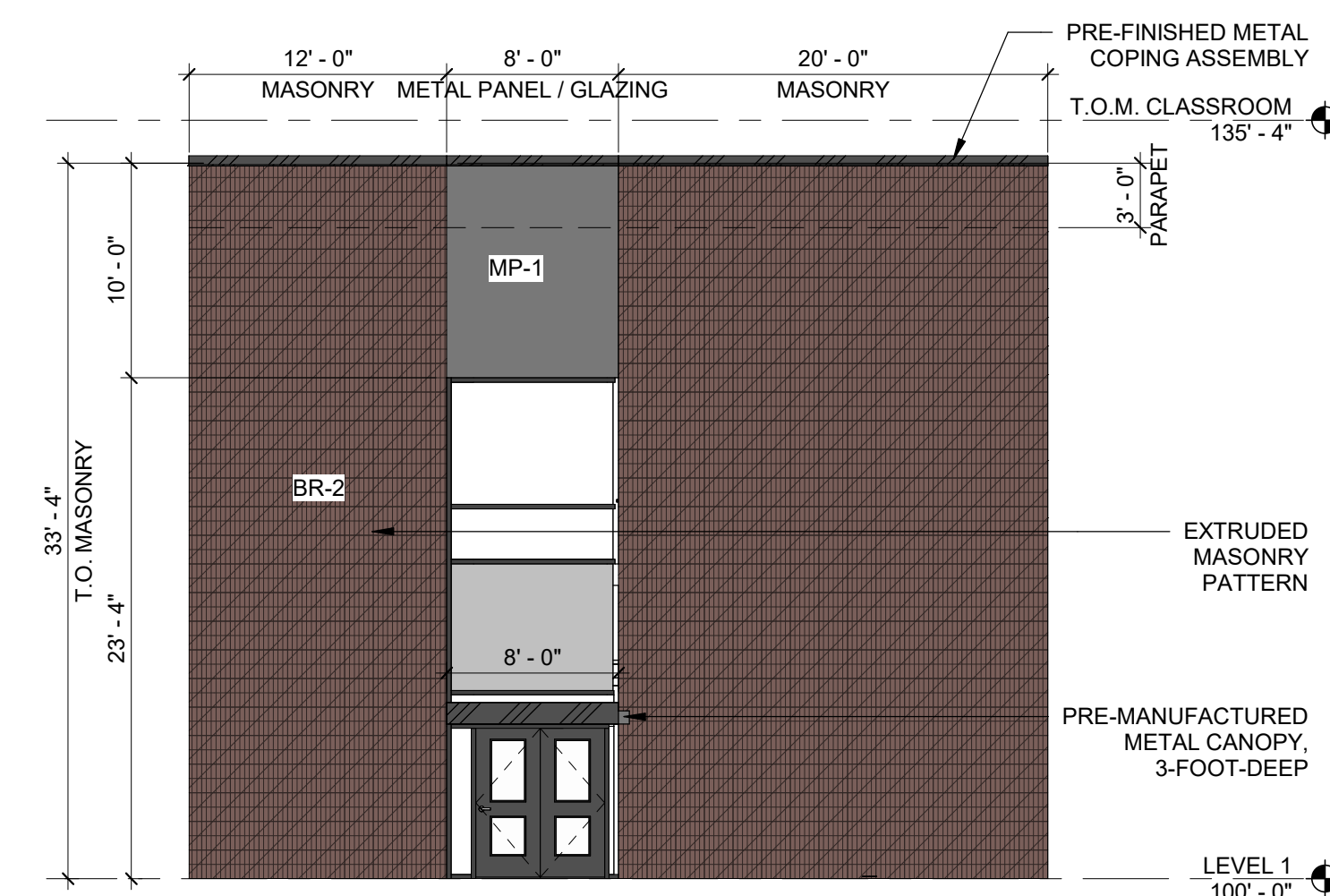
**05** EXTERIOR ELEVATION - AREA B - SOUTHEAST  
1/8" = 1'-0"



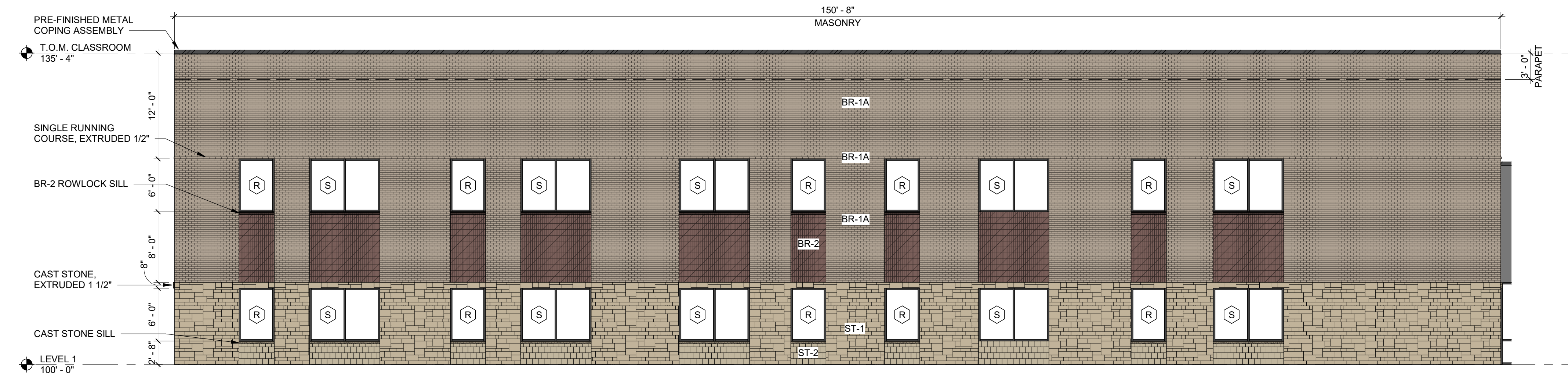
**04** EXTERIOR ELEVATION - AREA B - NORTHEAST  
1/8" = 1'-0"



**03** EXTERIOR ELEVATION - AREA B - SOUTHEAST  
1/8" = 1'-0"



**02** EXTERIOR ELEVATION - AREA B - NORTHEAST  
1/8" = 1'-0"



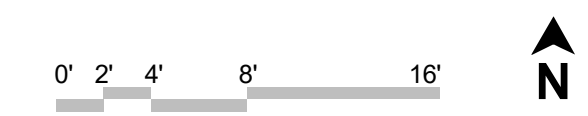
**01** EXTERIOR ELEVATION - AREA B - NORTHWEST  
1/8" = 1'-0"

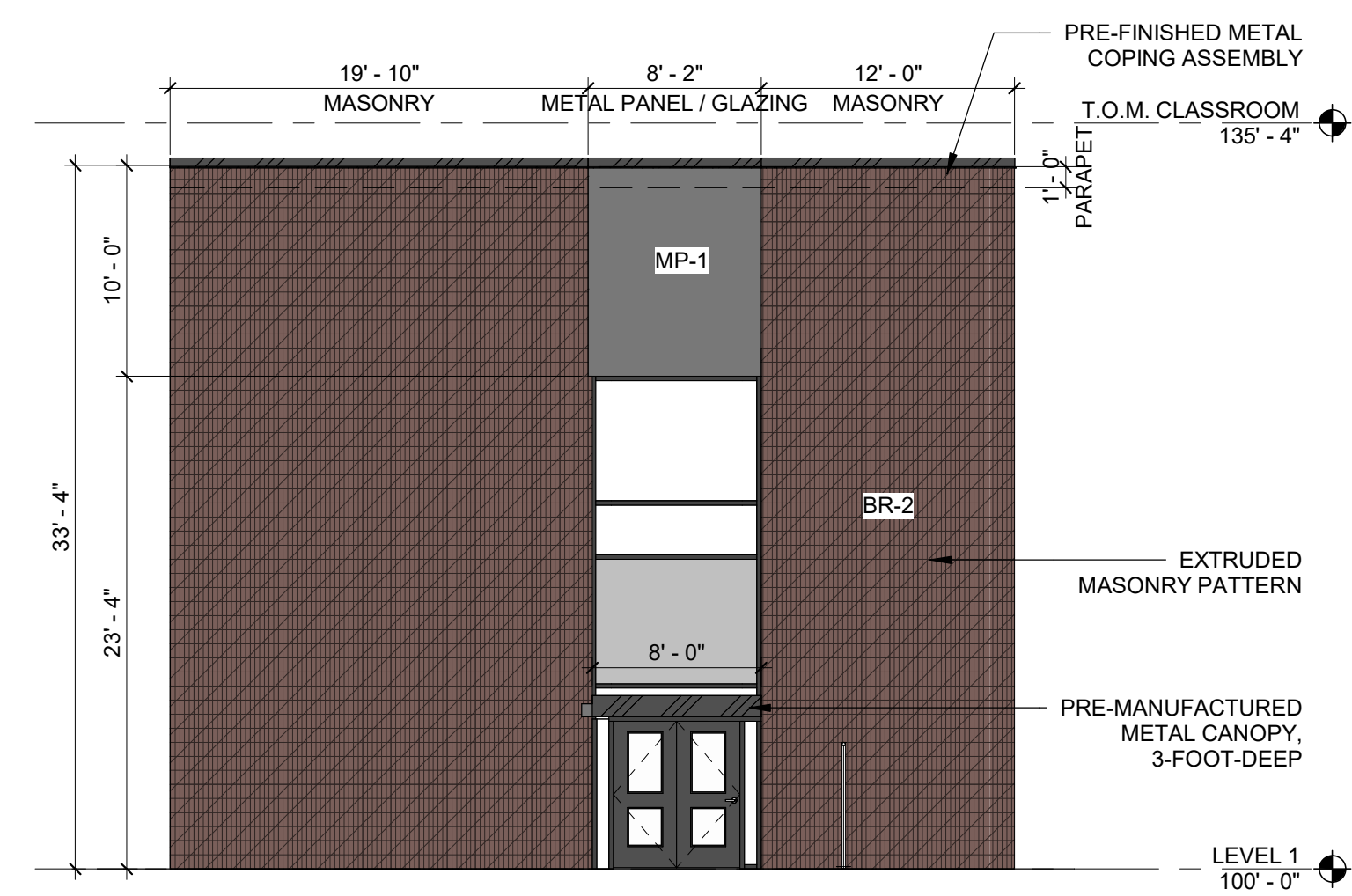
EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	

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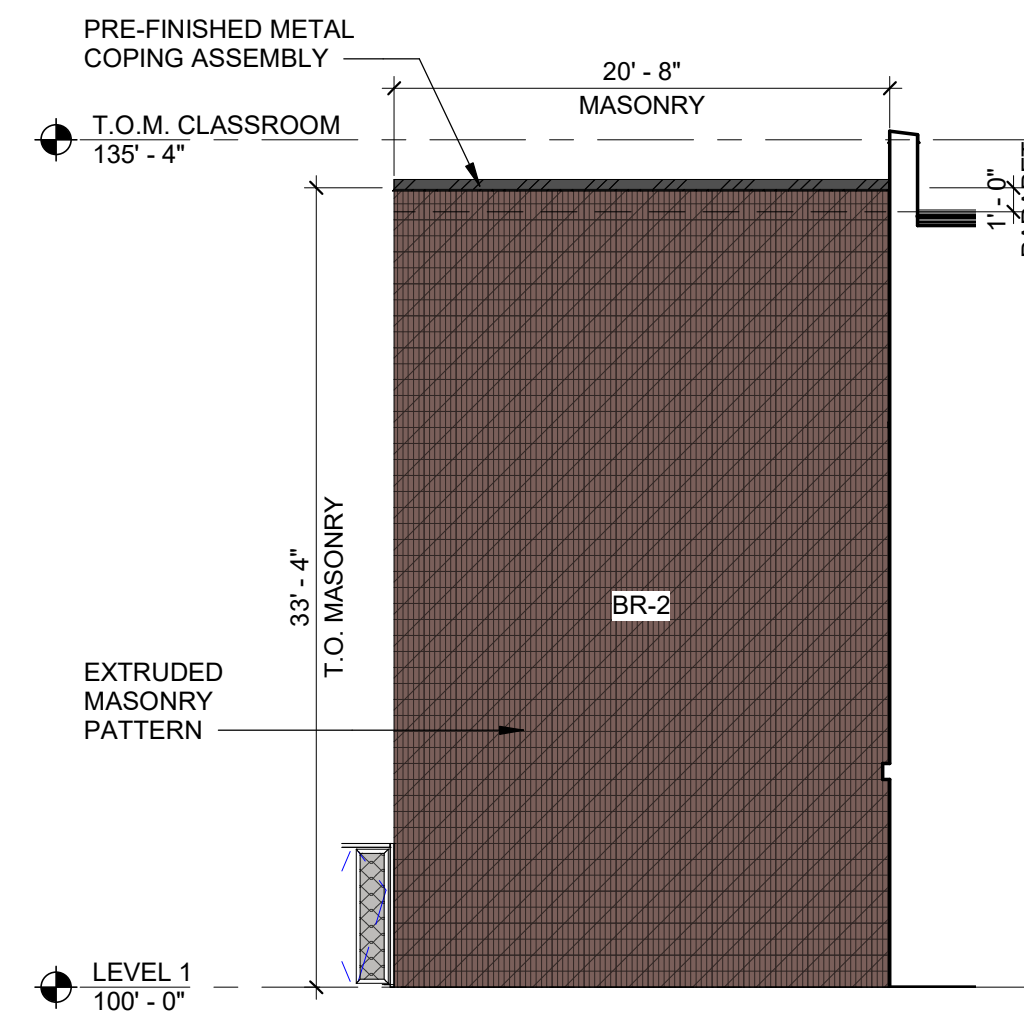
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

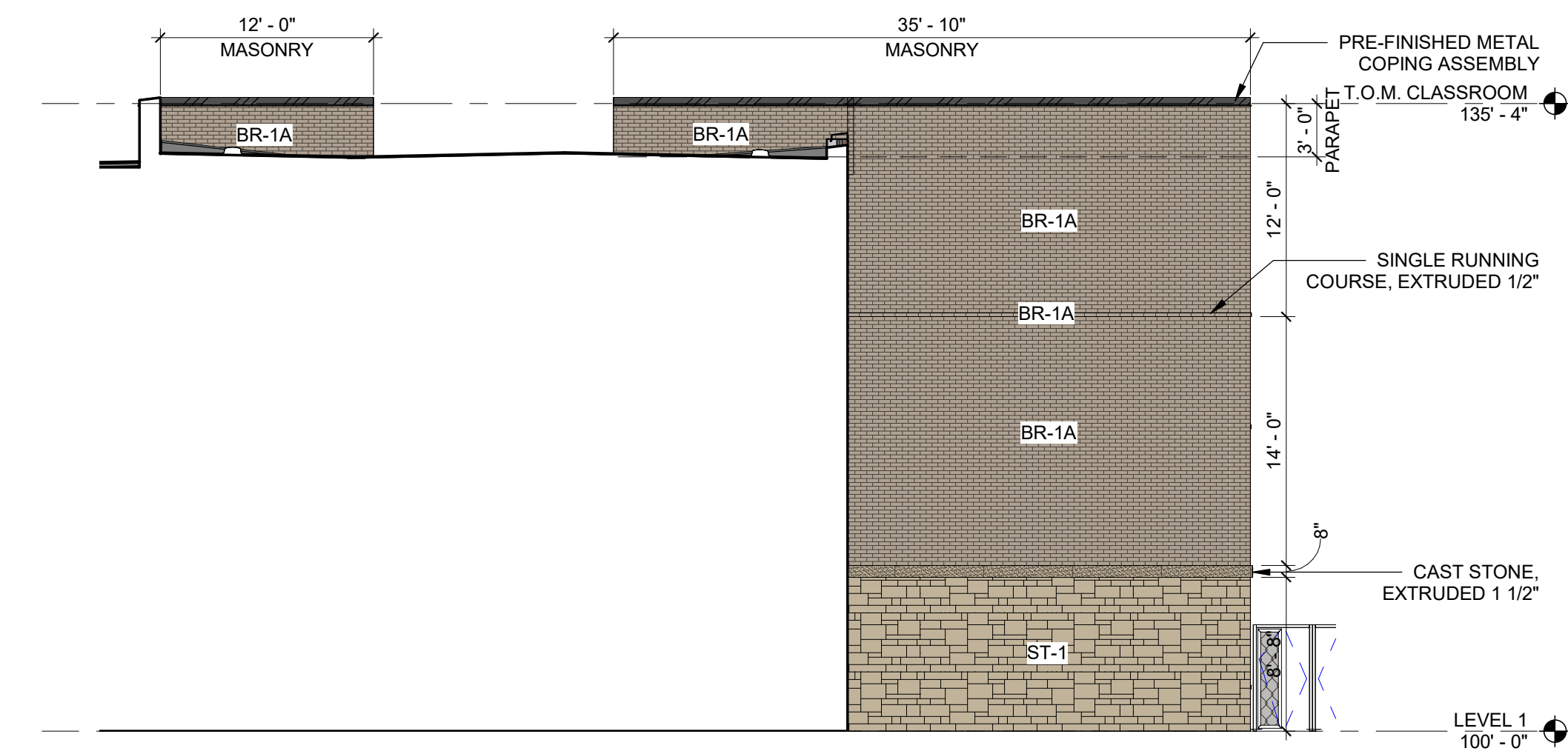




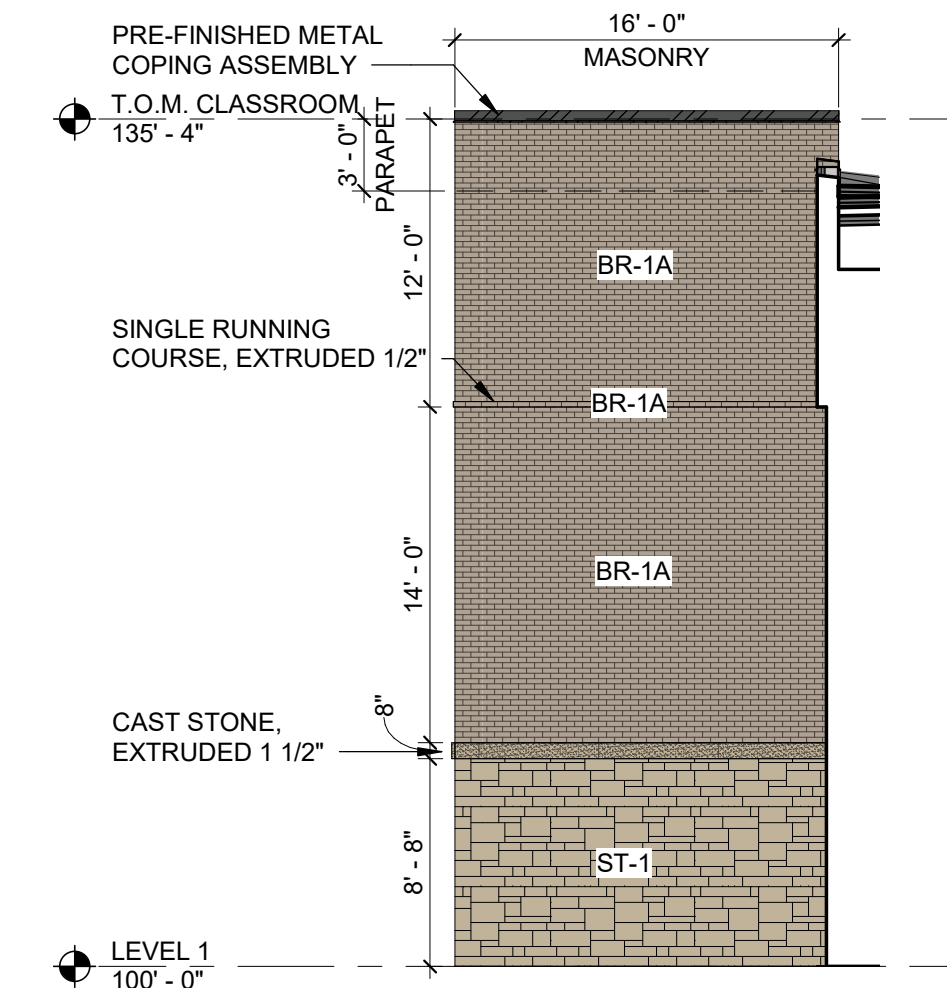
04 EXTERIOR ELEVATION - AREA C - NORTH  
1/8" = 1'-0"



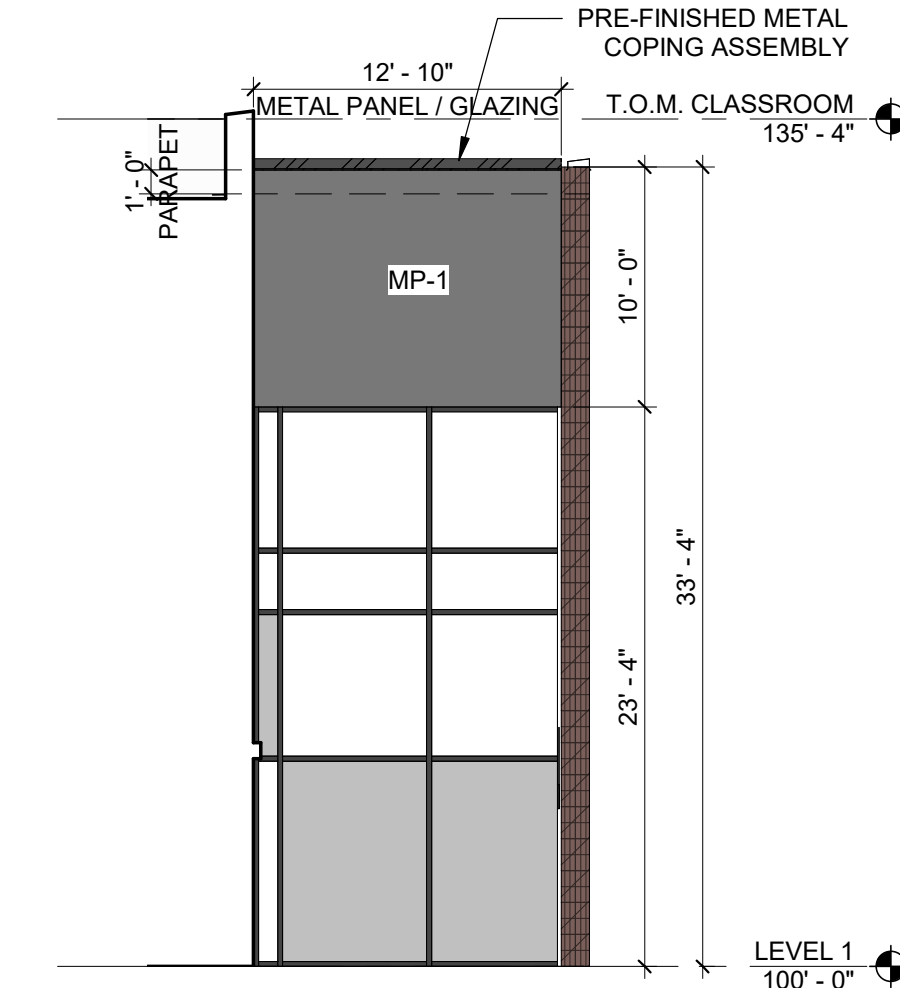
03 EXTERIOR ELEVATION - AREA C - NORTH  
1/8" = 1'-0"



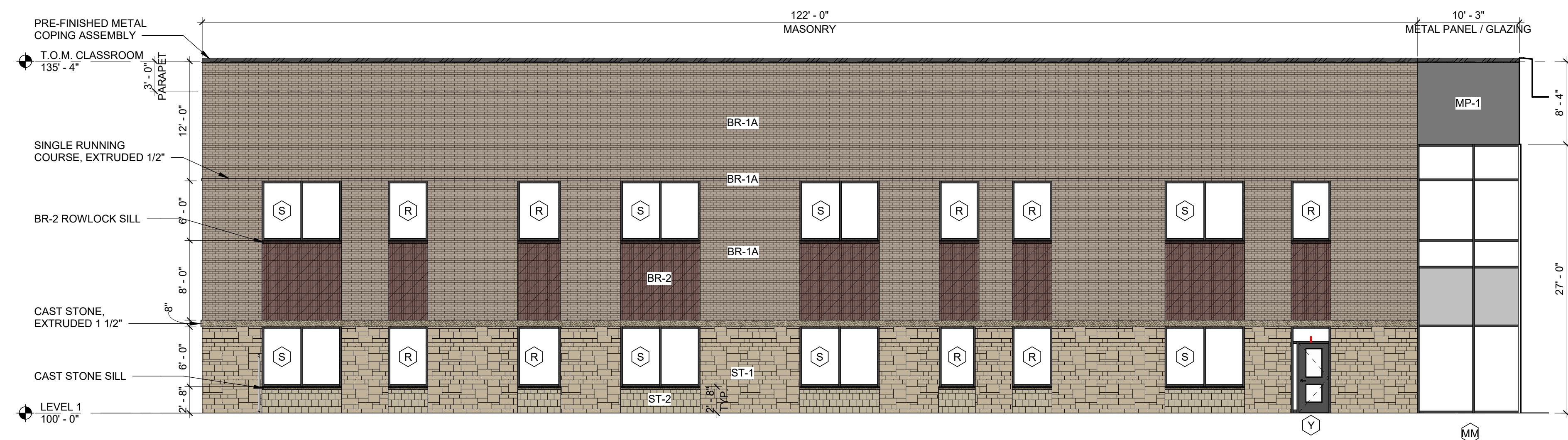
02 EXTERIOR ELEVATION - AREA C - EAST  
1/8" = 1'-0"



06 EXTERIOR ELEVATION - AREA C - EAST  
1/8" = 1'-0"



05 EXTERIOR ELEVATION - AREA C - SOUTH  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - AREA C - NORTH  
1/8" = 1'-0"

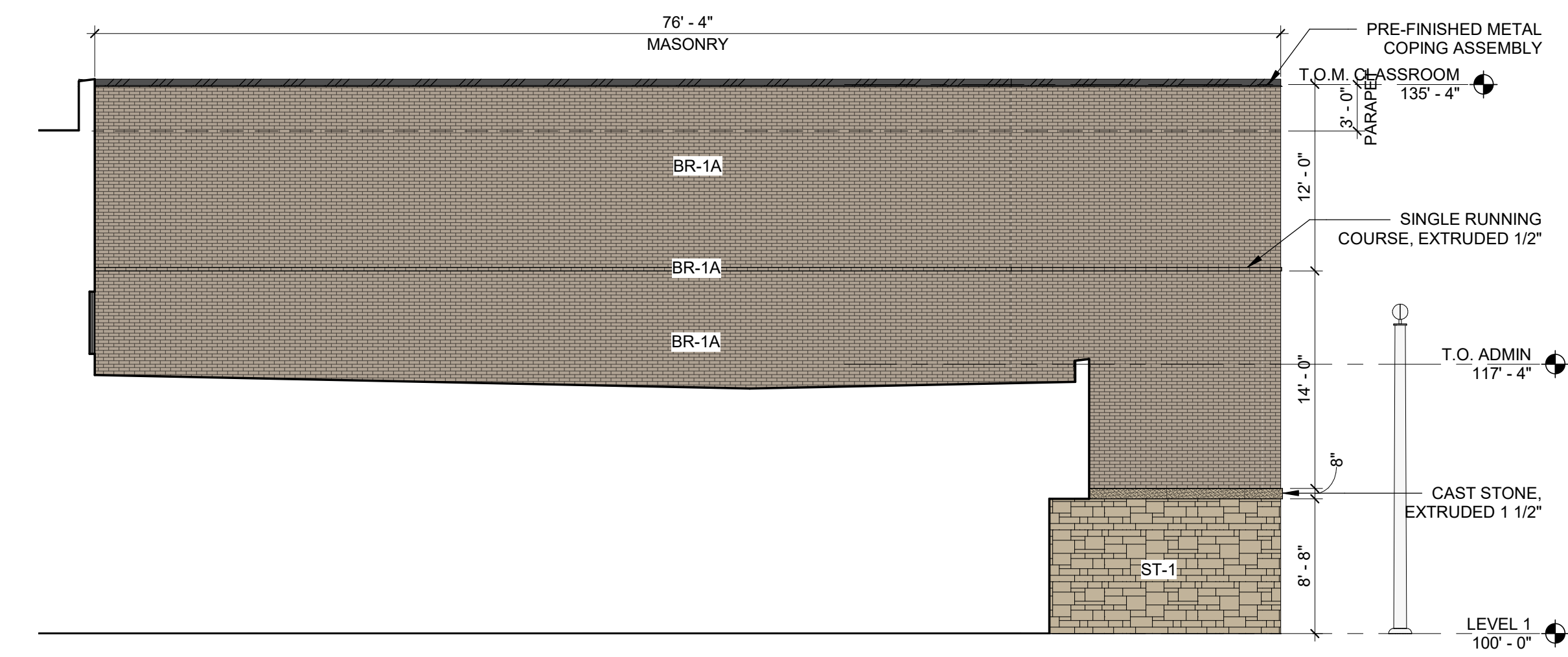
EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	
	MP-1	

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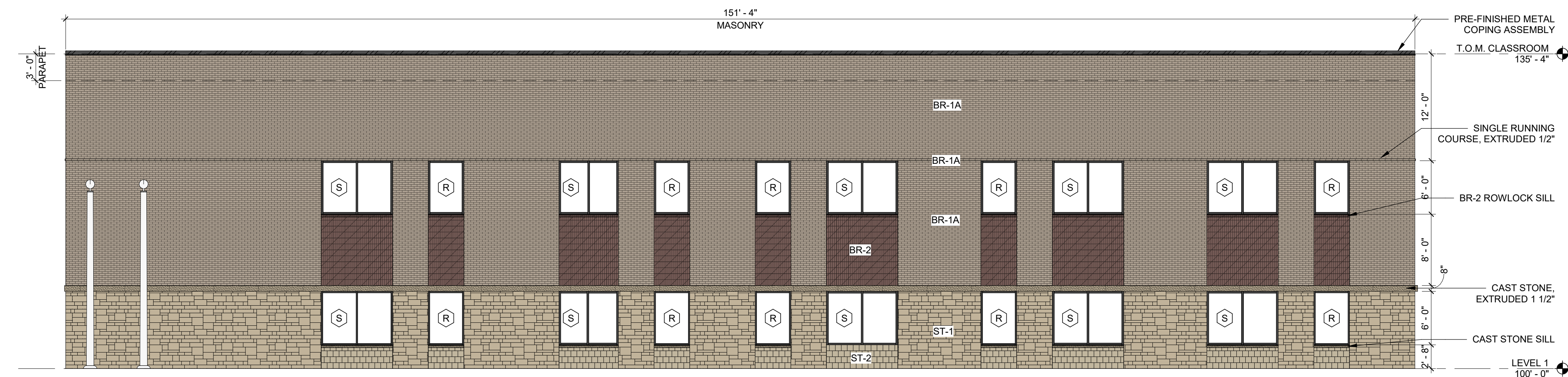
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning





02 EXTERIOR ELEVATION - AREA C - WEST  
1/8" = 1'-0"



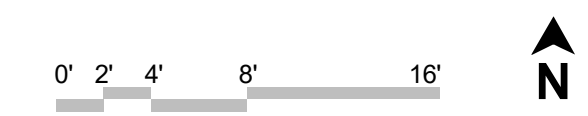
01 EXTERIOR ELEVATION - AREA C - SOUTH  
1/8" = 1'-0"

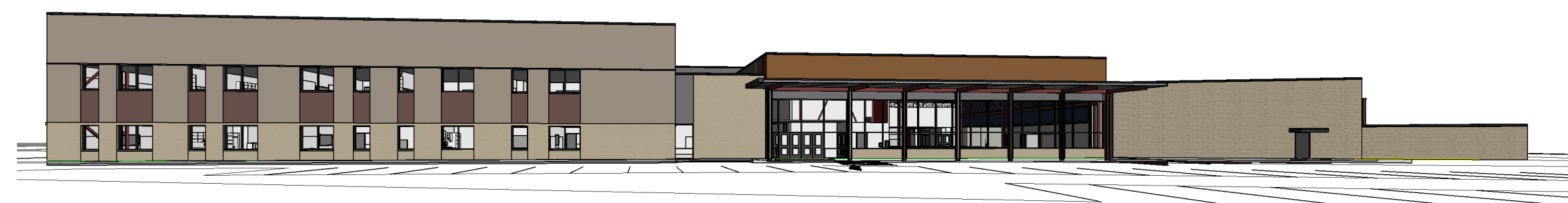
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Planning & Zoning Commission, Chairman

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Director of Planning and Zoning





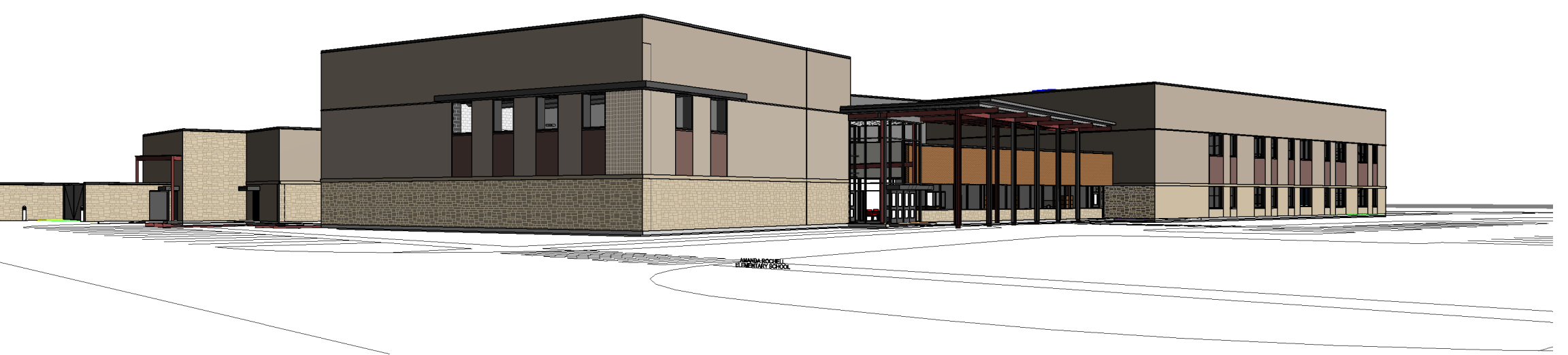
05 VIEW 04



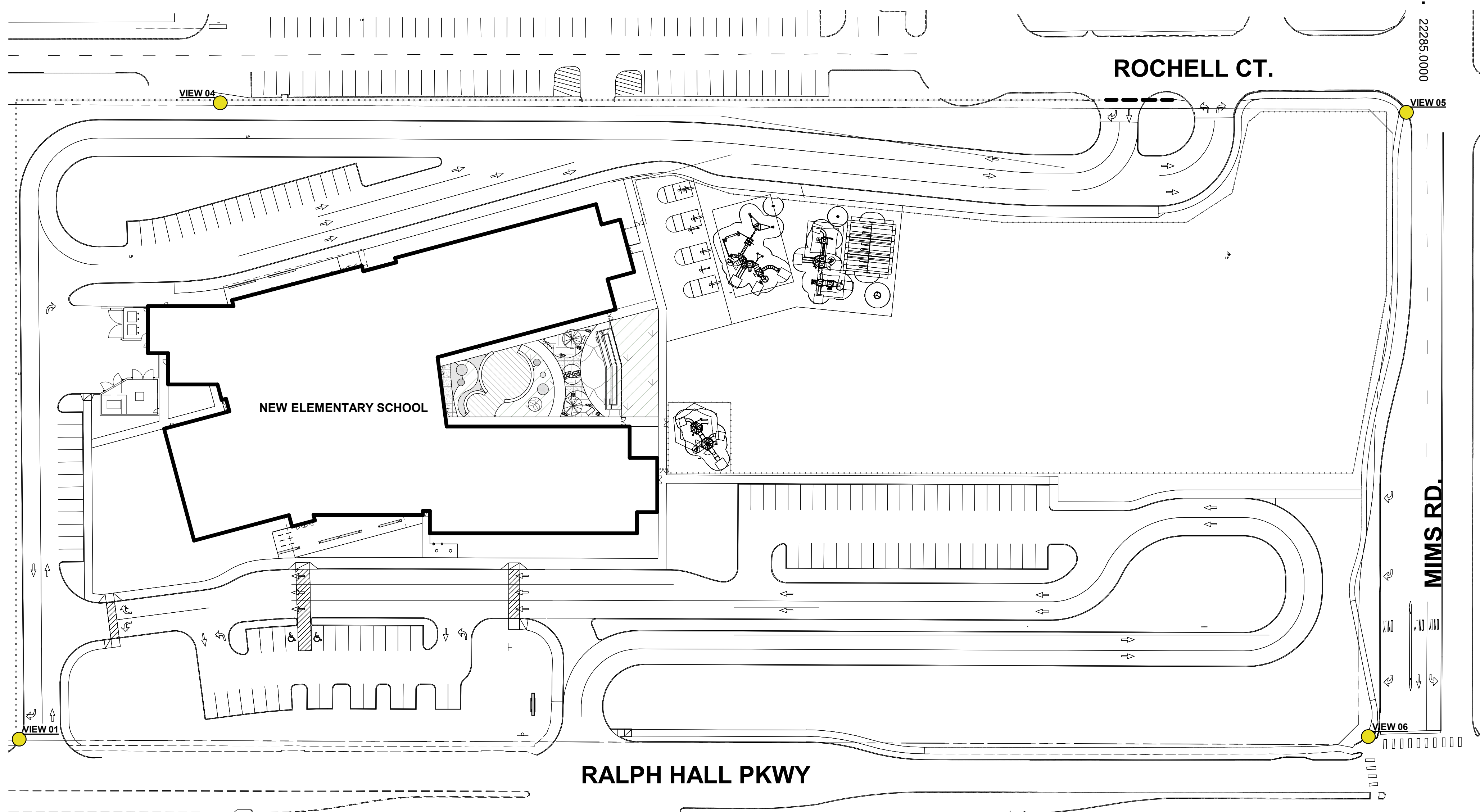
04 VIEW 03



03 VIEW 02



02 VIEW 01



01 SITE PLAN - RTU VISIBILITY KEY PLAN  
1" = 50'-0"

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\_\_\_\_\_  
Director of Planning and Zoning



# RTU VISIBILITY

1" = 50'-0"





# ROCKWALL ISD - AMANDA ROCHELL ELEMENTARY SCHOOL



**BR-1** FIELD BRICK



**BR-2** ACCENT BRICK



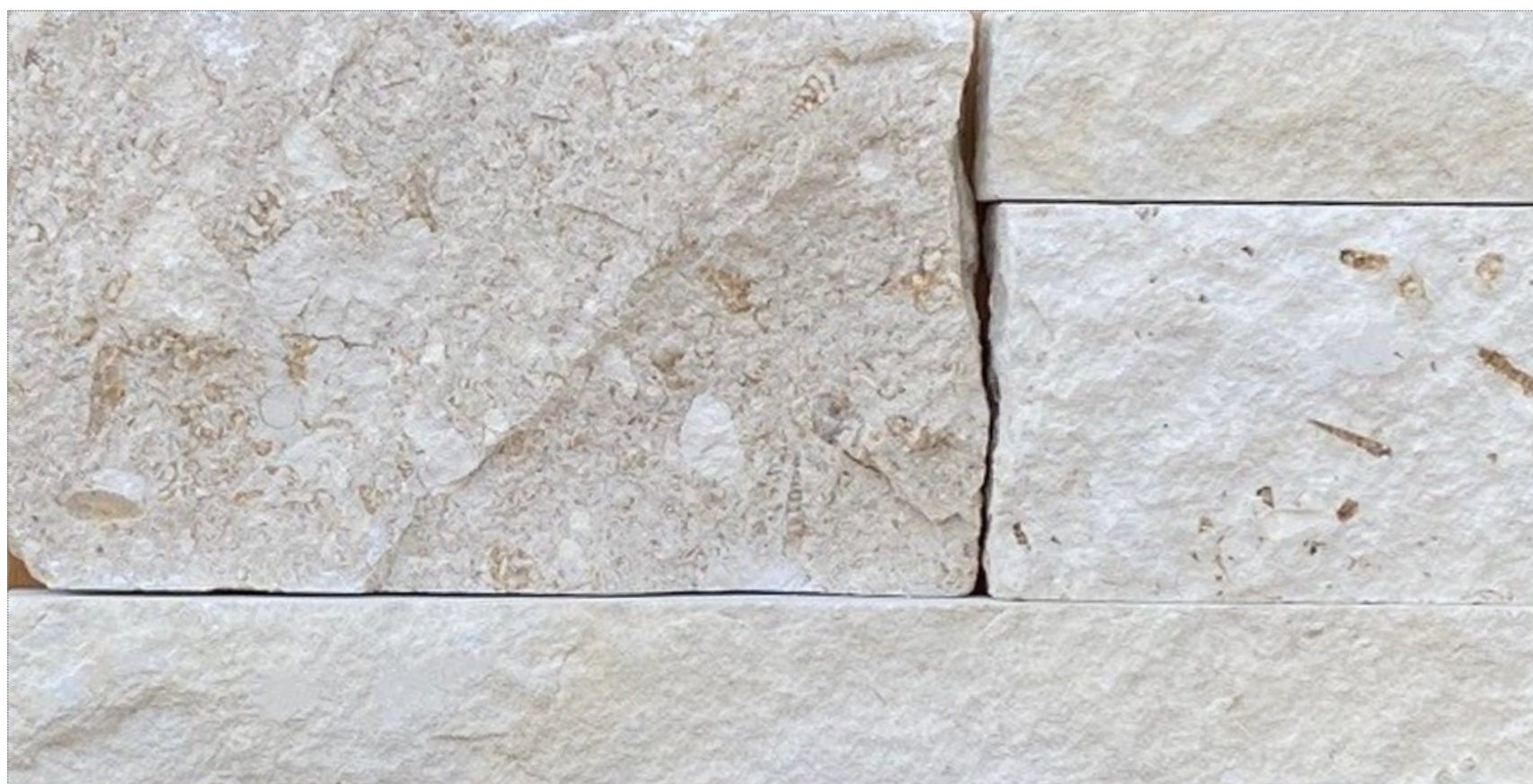
**WDP-1** PHENOLIC WOOD-LOOK PANEL



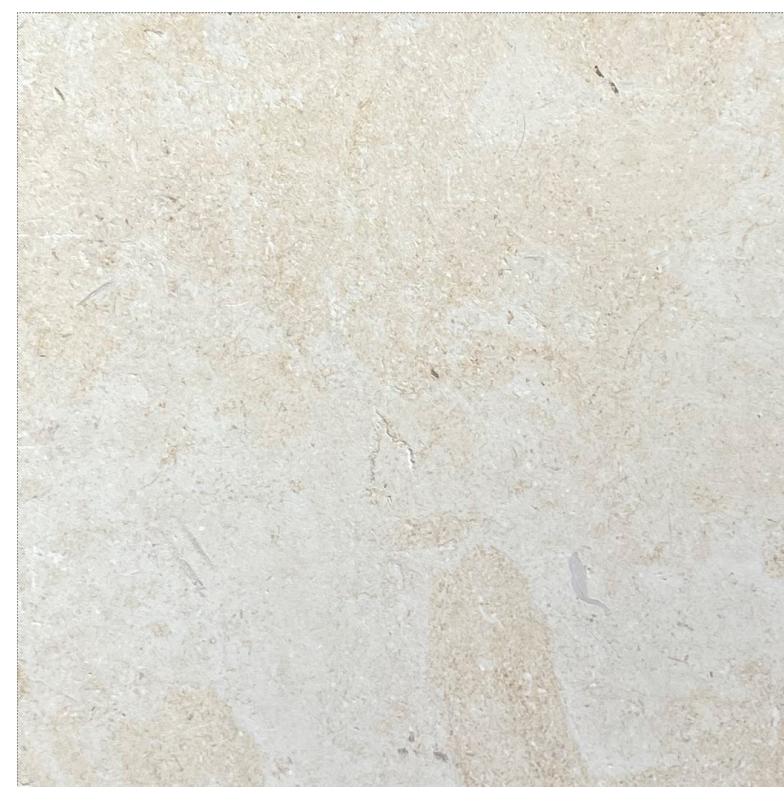
**MP-1** METAL PANEL



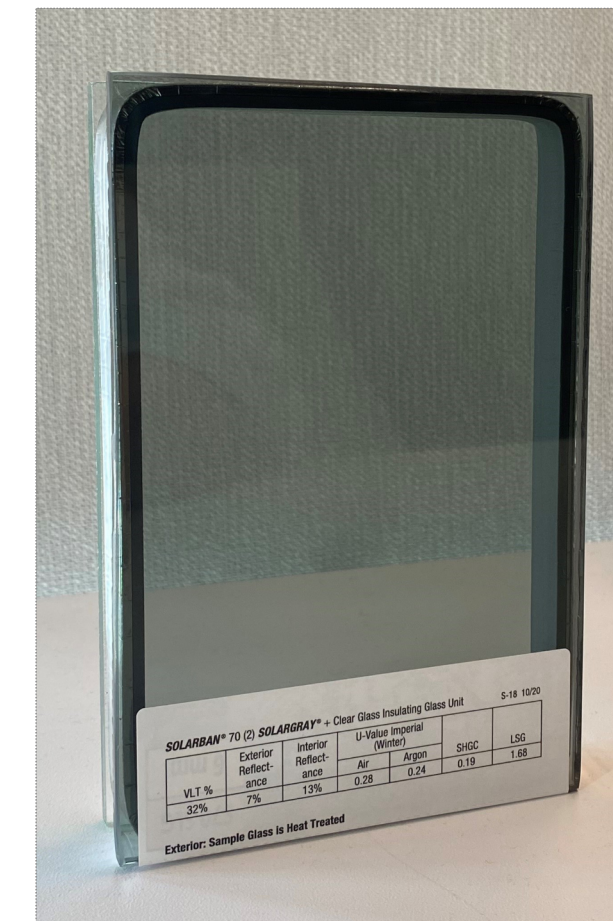
**AL-1** STOREFRONT ALUMINUM



**ST-1** ROUGH FACE STONE



**ST-2** SMOOTH FACE STONE



**GL-1** FIELD GLAZING

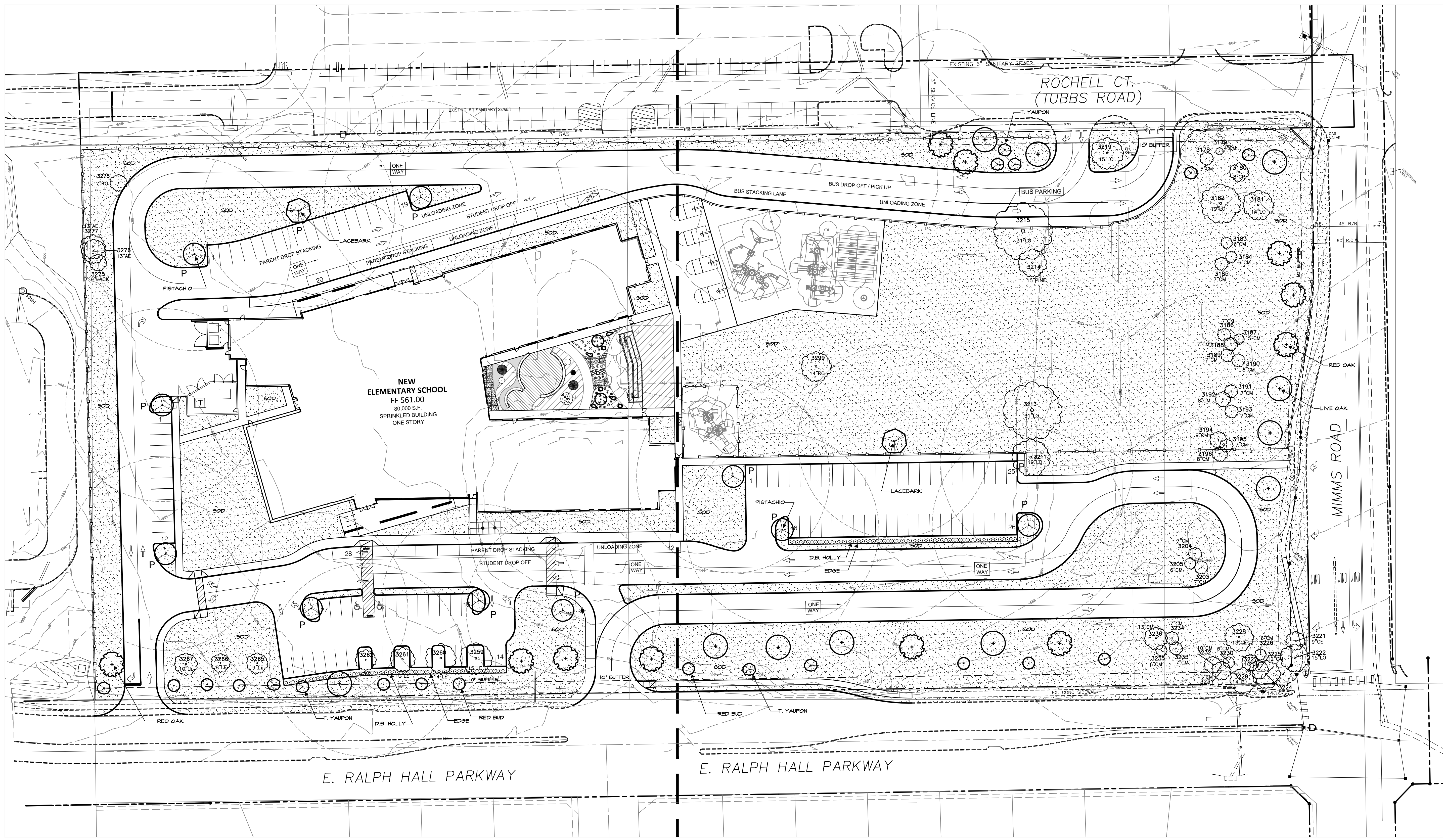


**GL-2** SPECIALTY GLAZING

# ROCKWALL ISD - AMANDA ROCHELL ELEMENTARY SCHOOL

FINISH CODE	DESCRIPTION	MANUFACTURER	COLOR
<b>BR-1</b>	FIELD BRICK	HEBRON BRICK CO.	SEA GRAY 12
<b>BR-2</b>	ACCENT BRICK	ENDICOTT CLAY PRODUCTS	DARK IRONSPOT SMOOTH
<b>ST-1</b>	ROUGH FACE STONE	BLACKSON BRICK	BLANCO ANTIQUE
<b>ST-2</b>	SMOOTH FACE STONE	BLACKSON BRICK	CREAM HONED
<b>WDP-1</b>	PHENOLIC WOOD-LOOK PANEL	FUNDERMAX	CREEK - NT
<b>MP-1</b>	METAL PANEL	PAC-CLAD	MUSKEY GRAY
<b>AL-1</b>	STOREFRONT ANODIZED ALUMINUM	KAWNEER	BLACK </td
<b>GL-1</b>	INSULATED GLAZING UNIT	VITRO	GRAY TINT + CLEAR
<b>GL-2</b>	INSULATED GLAZING UNIT	VITRO	GRAY TINT + R77 REFLECTIVE





ISSUES	
1	11.14.22 PERMIT SET
2	
3	
4	
5	
6	

REVISIONS	

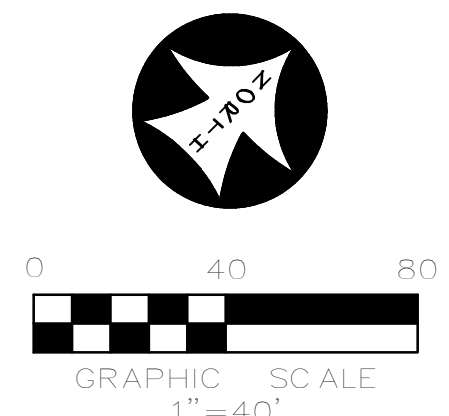
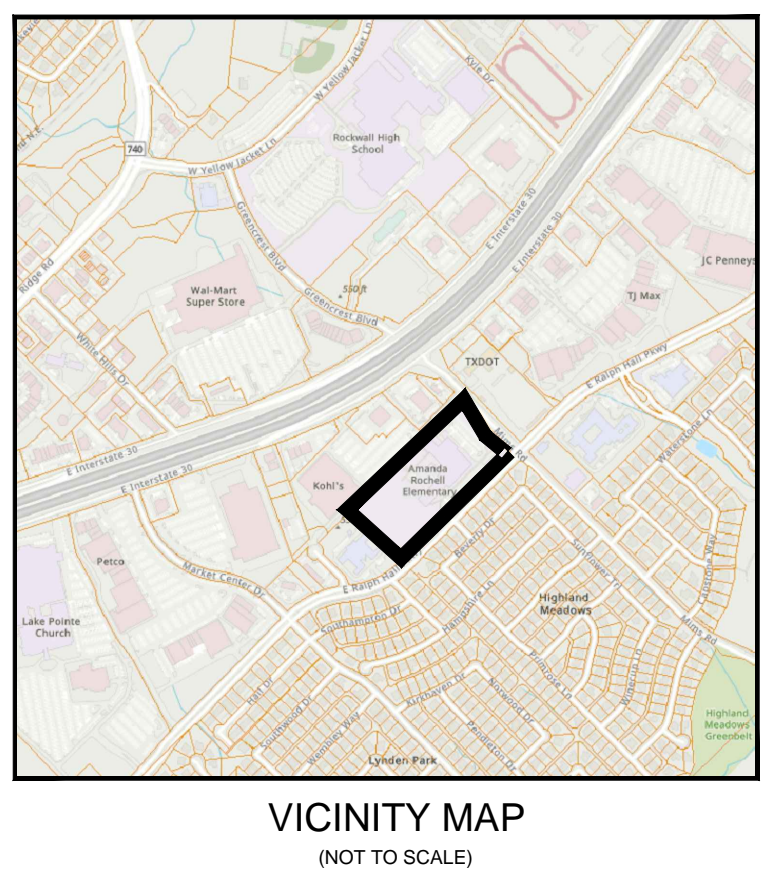
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 302-5433  
 EMAIL: MIKE.RLA@ATT.NET

**Rochell Elementary School Replacement**  
 899 Rochell Ct.  
 Rockwall, TX 75032

**LEGEND**

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	462,835 S.F. OR 10.6252 AC.
BUILDING AREA (FLOOR AREA)	55,325 S.F.
PROPOSED FIRST FLOOR	21,575 S.F.
PROPOSED SECOND FLOOR	16,900 S.F.
TOTAL BUILDING AREA	55,325 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	55,325 S.F./462,835 S.F. = 12.0%
FLOOR AREA RATIO	0.12:1
TOTAL IMPERVIOUS AREA	216,929 S.F. OR 4.98 AC.
BUILDING HEIGHT	39'-4" (2 STORY)
STUDENT CAPACITY (K-6) DESIGN	642 STUDENT
STUDENT CAPACITY (K-6) EXISTING	650 STUDENT
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	27 SPACES
642 STUDENT / 1 PER 25 STUDENTS = 25.68 (27) SPACES REQUIRED	
PARKING PROVIDED	
PARKING SURFACE	92 SPACES
9.0' x 18.0'	27 SPACES
9.0' x 20.0' PARALLEL	119 SPACES
TOTAL PARKING PROVIDED	



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\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
**LOT 1, BLOCK A**  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
 ROCKWALL ISD  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 (972) 711-0605  
 CONTACT: JAMES WATSON

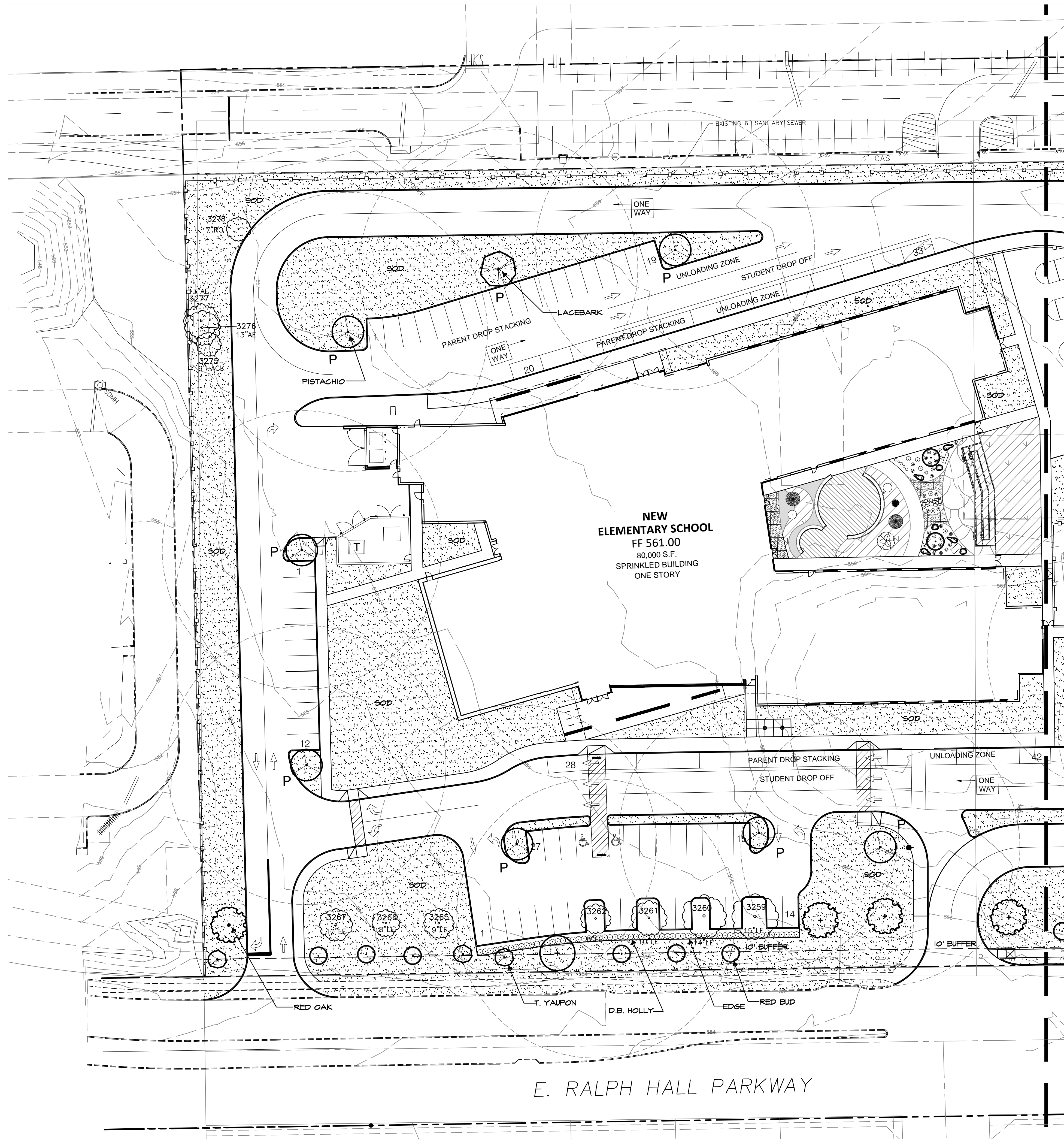
SURVEYOR:  
 BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8586  
 CONTACT: ROBERT HANSEN

ENGINEER:  
 GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
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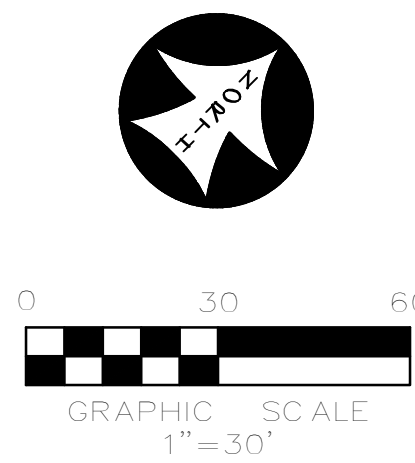
CITY OF ROCKWALL CASE NO. SP2022-###

**OVERALL LANDSCAPE PLAN**

**JOB 22285.0000**  
**DATE 11/14/2022**  
**SHEET L 1**



MATCHLINE SEE SHEET L3



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CITY OF ROCKWALL CASE NO. SP2022-##

ISSUES	
1	11.14.22 PERMIT SET
2	
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5	
6	

REVISIONS	

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RAMSEY LANDSCAPE ARCHITECTS, LLC  
 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 362-5433  
 EMAIL: MIKE.RLA@ATT.NET

# Rochell Elementary School Replacement

899 Rochell Ct.  
 Rockwall, TX 75032

LANDSCAPE PLAN  
 AREA A

JOB 22285.0000  
 DATE 11/14/2022  
 SHEET

**ISSUES**

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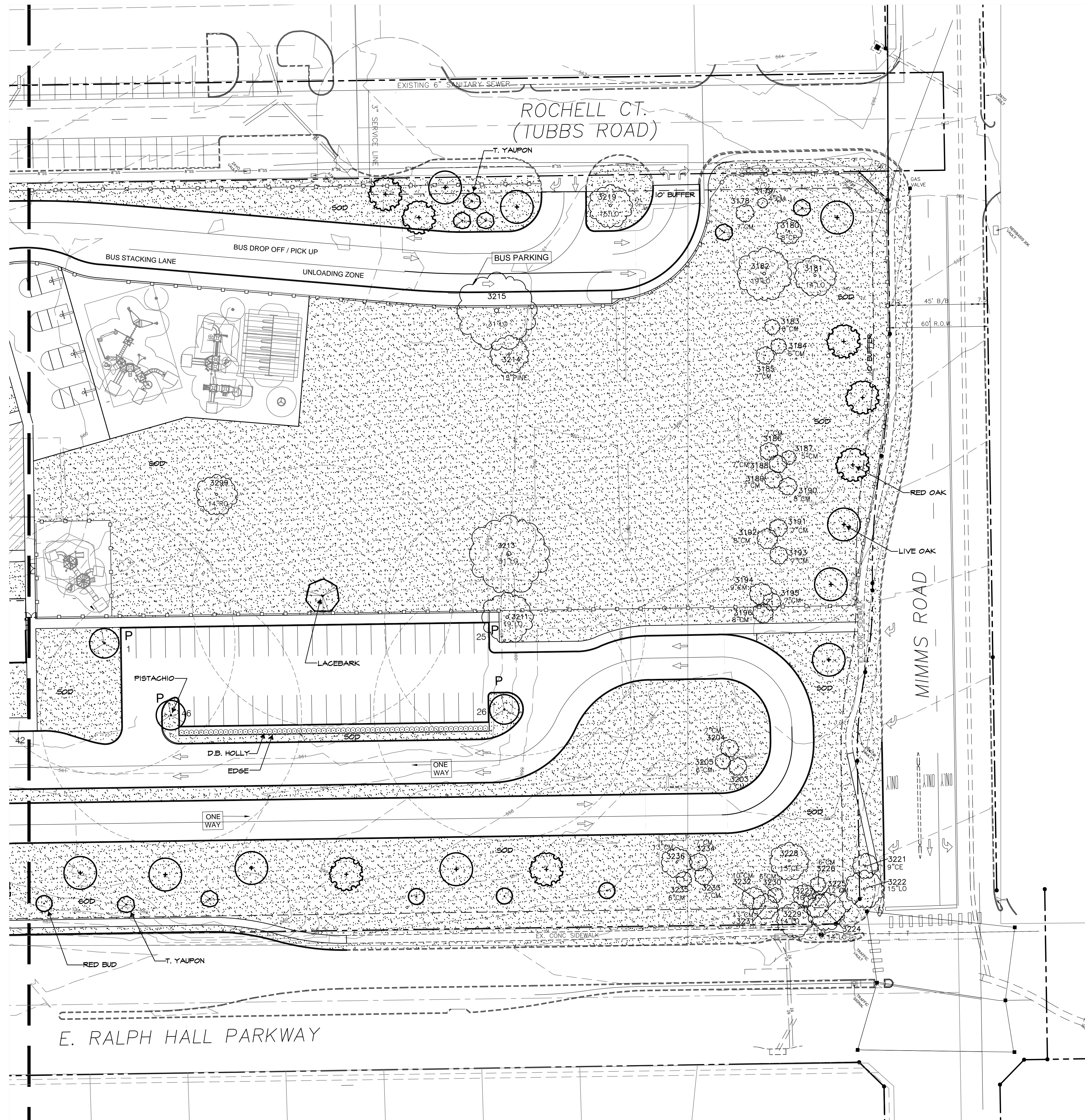
899 Rochell Ct.  
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**LANDSCAPE PLAN AREA B**

**JOB** 22285.0000  
**DATE** 11/14/2022  
**SHEET**

**L 3**

MATCHLINE SEE SHEET L2



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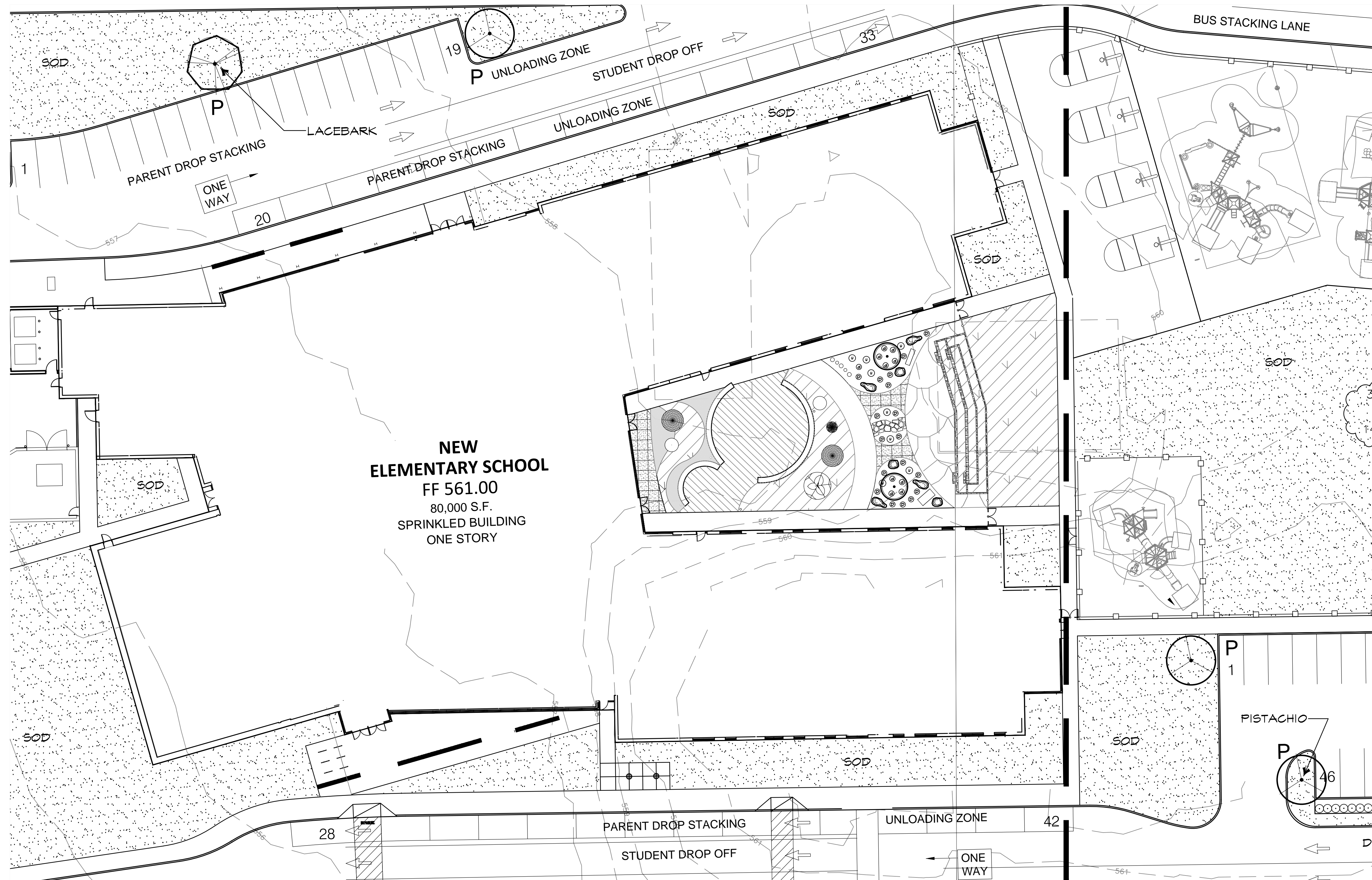
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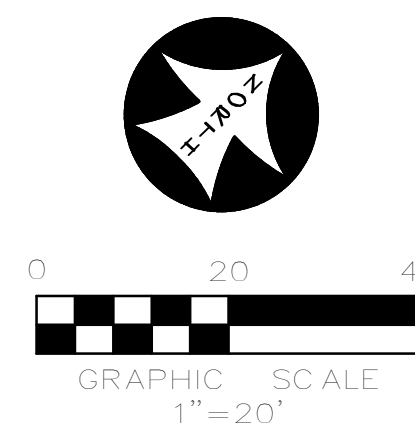
CITY OF ROCKWALL CASE NO. SP2022-##



**NEW  
ELEMENTARY SCHOOL**  
FF 561.00  
80,000 S.F.  
SPRINKLED BUILDING  
ONE STORY

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CITY OF ROCKWALL CASE NO. SP2022-###

**CORGAN**

CORGAN  
www.corgan.com  
T: 214.748.2000

**ISSUES**

1	11.14.22	PERMIT SET
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**REVISIONS**


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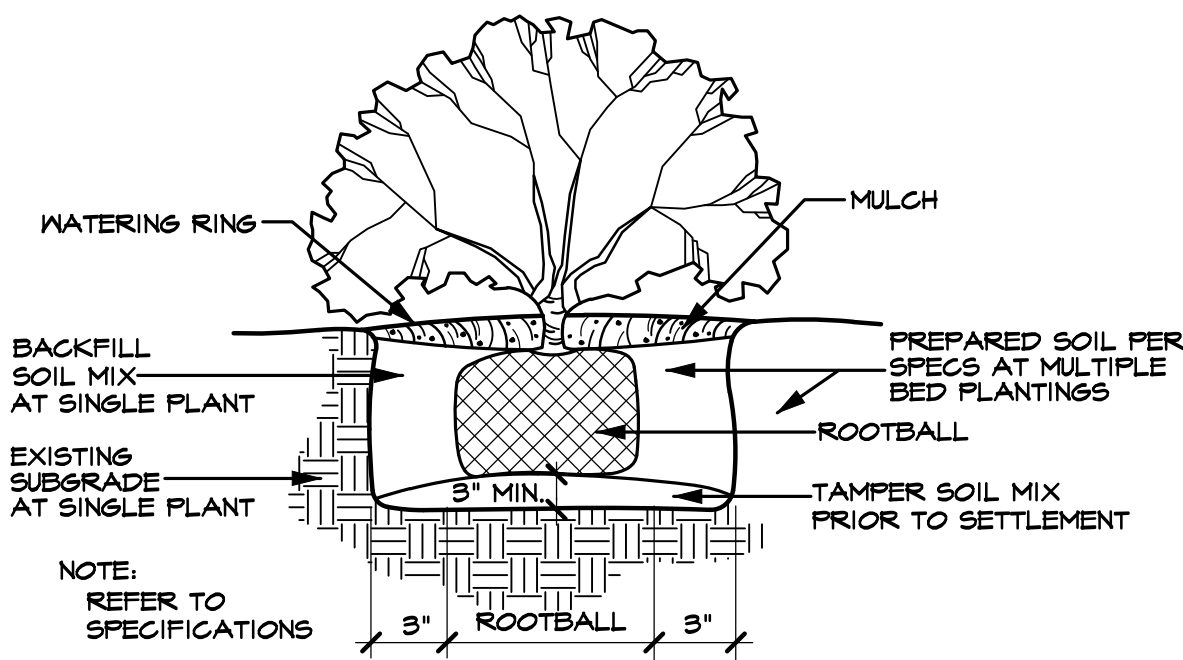
**LANDSCAPE  
ENLARGEMENT**

**JOB** 22285.0000  
**DATE** 11/14/2022  
**SHEET**

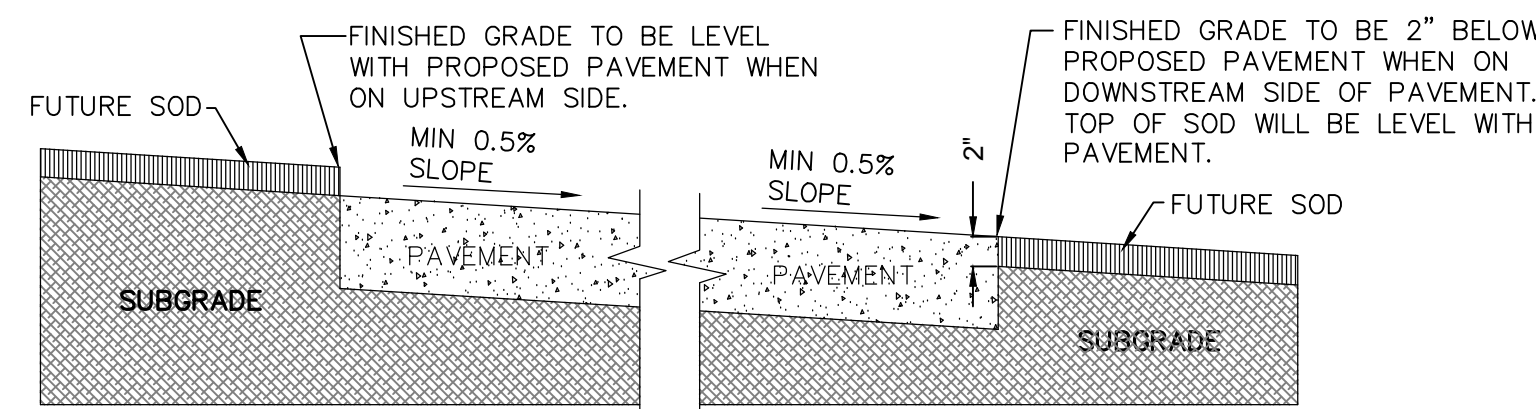
L 4

**LANDSCAPE TABULATIONS**

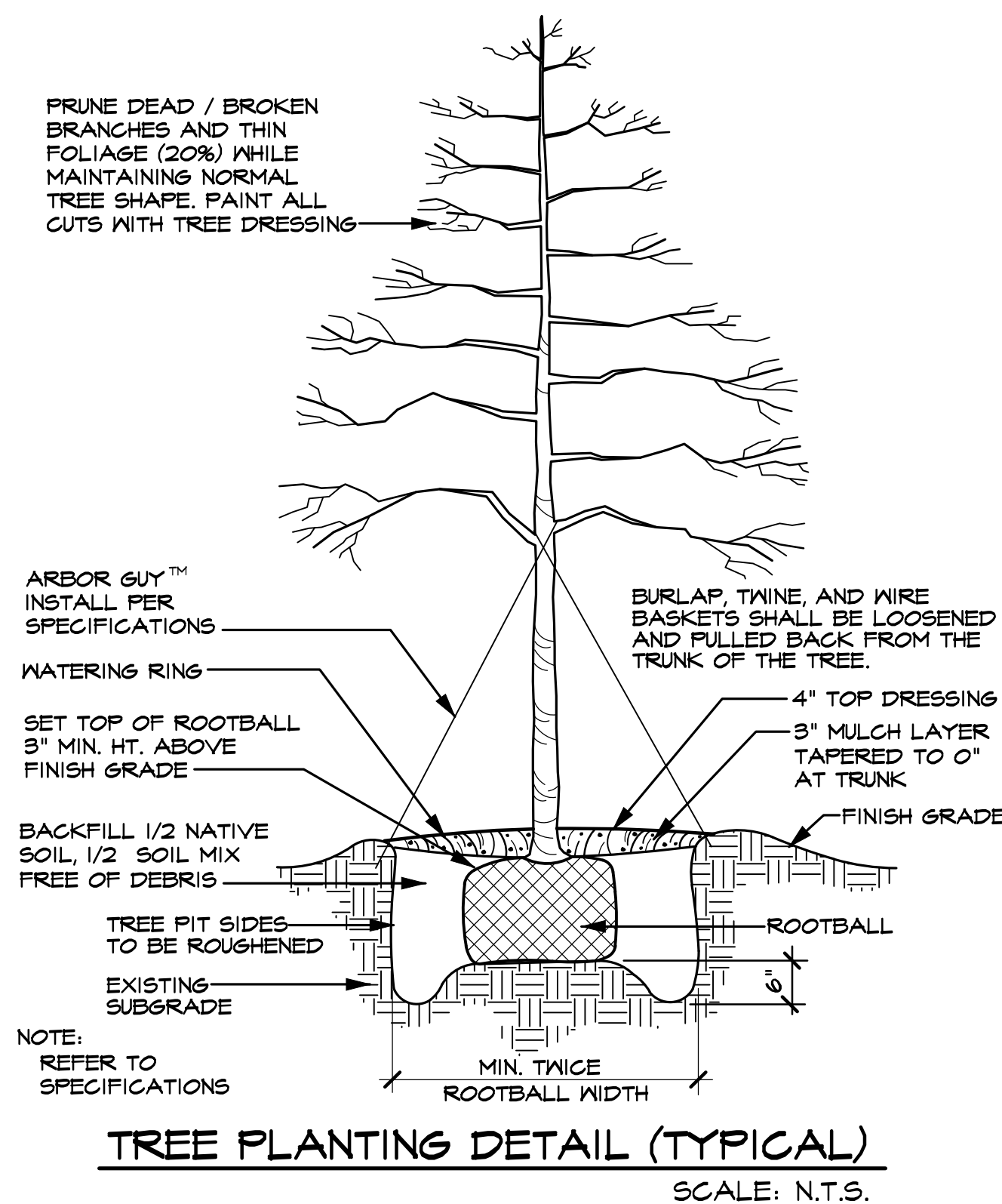
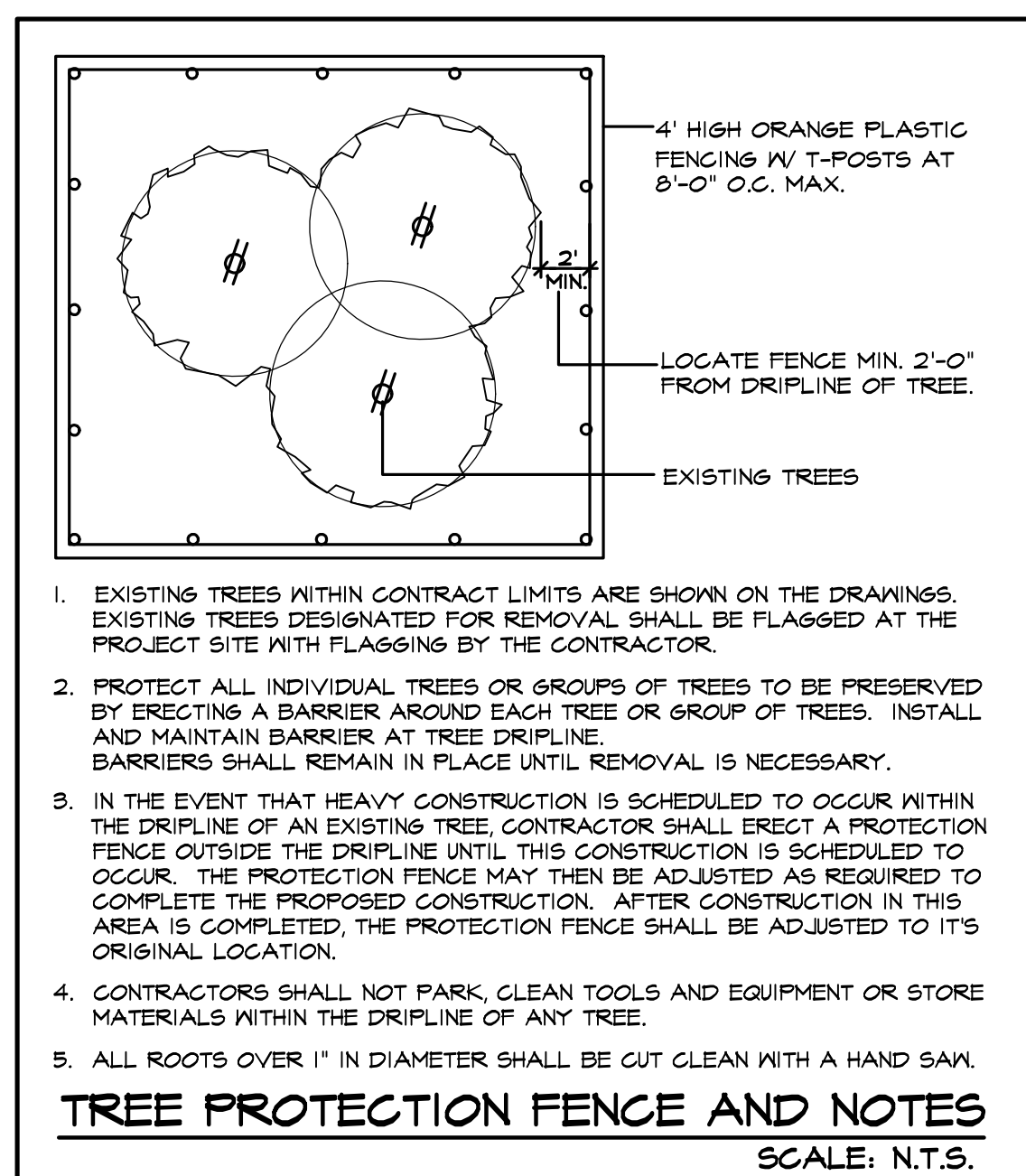
<b>STREET BUFFER</b>	
10' BUFFER, 1 SHADE AND 1 ORN. TREE PER 50 LF	
E. RALPH HALL PKWY. STREET BUFFER REQUIRED	10' BUFFER
BUFFER PROVIDED	10' BUFFER
E. RALPH HALL PKWY. BUFFER TREES REQUIRED (490 LF/50 LF =)	20 TREES
TREES PROVIDED (EX. 5 ORN. 10 SH., PROP. 15 ORN. 10 SH.)	20 CANOPY/20 ACCENT
<b>MIMMS ROAD STREET BUFFER REQUIRED</b>	
BUFFER PROVIDED	10' BUFFER
MIMMS ROAD BUFFER TREES REQUIRED (460 LF/50 LF =)	10 TREES
TREES PROVIDED (EX. 10 ORN. 3 SH., PROP. 0 ORN. 3 SH.)	10 CANOPY/10 ACCENT
<b>ROCHELL CT (TUBBS ROAD) STREET BUFFER REQUIRED</b>	
BUFFER PROVIDED	10' BUFFER
TREES PROVIDED (EX. 2 ORN. 2 SH., PROP. 5 ORN. 5 SH.)	7 TREES
<b>TREES PROVIDED (EX. 2 ORN. 2 SH., PROP. 5 ORN. 5 SH.)</b>	
	7 CANOPY/7 ACCENT
<b>PARKING LOT LANDSCAPING</b>	
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.	
PARKING SPACES	119 SPACES
PARKING LANDSCAPE REQUIRED (27,010 SF X 5% =)	2,351 SF
PARKING LANDSCAPE PROVIDED	3,345 SF
PARKING TREES REQUIRED (119 SPACES / 10 =)	12 TREES
PARKING TREES PROVIDED	12 TREES
<b>AMOUNT OF LANDSCAPING</b>	
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.	
SITE AREA	462,895 SF
SITE LANDSCAPE REQUIRED (462,895 SF X 15% =)	69,425 SF
SITE LANDSCAPE PROVIDED	214,810 SF
% LANDSCAPE PROVIDED FRONT/SIDE (243%)	162,700 SF
SITE IMPERVIOUS AREA	216,924 SF
<b>TREE MITIGATION</b>	
REFERENCE TREESCPE PLANS ('TS' SHEETS)	
ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.	



**SHRUB PLANTING DETAIL (TYPICAL)**  
SCALE: N.T.S.



**GRADING DETAIL FOR PAVEMENT WITHOUT CURB**  
SCALE: N.T.S.



TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
11	(circle with cross)	LIVE OAK	Live Oak	<i>Quercus virginiana</i>	4" caliper, 12'-14' ht / 5'-6' spread, B&B straight trunk full rounded canopy
11	(circle with cross and dots)	RED OAK	Shumard Red Oak	<i>Quercus shumardii</i>	4" caliper, 12'-14' ht / 5'-6' spread, B&B straight trunk full rounded canopy
2	(circle with cross and dots)	LACEBARK	Lacebark Elm	<i>Ulmus parvifolia</i>	4" caliper, 12'-14' ht / 5'-6' spread, B&B straight trunk full rounded canopy
9	(circle with cross and dots)	PISTACHIO	Chinese Pistachio	<i>Pistacia chinensis</i>	4" caliper, 12'-14' ht / 5'-6' spread, B&B straight trunk full rounded canopy
10	(circle with cross and dots)	T. YAUPON	Yaupon Holly	<i>Ilex vomitoria</i>	3/4" caliper per trunk, 5 trunk min., 6' ht./4' spread, container, female - heavy berried tree form, limbed to 3'
12	(circle with cross and dots)	RED BUD	Oklahoma Red Bud	<i>Cercis canadensis 'oklahoma'</i>	5'-6' ht, 3'-4' spread, container
SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
18	(circle with cross and dots)	D. FOUNTAIN	Dwarf Fountain Grass	<i>Femisetum alopocurioides 'hamlin'</i>	1 gallon
10	(circle with cross and dots)	D.Y. HOLLY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	5 gallon, 16" ht./14" spread, bushy, full to ground
62	(circle with cross and dots)	D.B. HOLLY	Dwarf Burford Holly	<i>Ilex cornuta 'Nana'</i>	5 gallon, 20" ht./16" spread, bushy, full to ground
8	(circle with cross and dots)	RED YUCCA	Red Yucca	<i>Hesperaloe parviflora</i>	5 gallon
GROUNDCOVER					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(square with dots)	SOD	Common Bermuda Grass	<i>Cynodon dactylon</i>	Sod refer to specifications
MISCELLANEOUS					
AS SHOWN	(line)	EDGE	L.F. Ryerson steel edge, 1/8" x 4" with 12" stakes, black color adjacent to beds with rock, green at shrubs on berms.		
7	(circle with cross and dots)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS		

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

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Planning & Zoning Commission, Chairman Director of Planning and Zoning

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**LANDSCAPE DETAILS**

JOB 22285.0000  
DATE 11/14/2022  
SHEET

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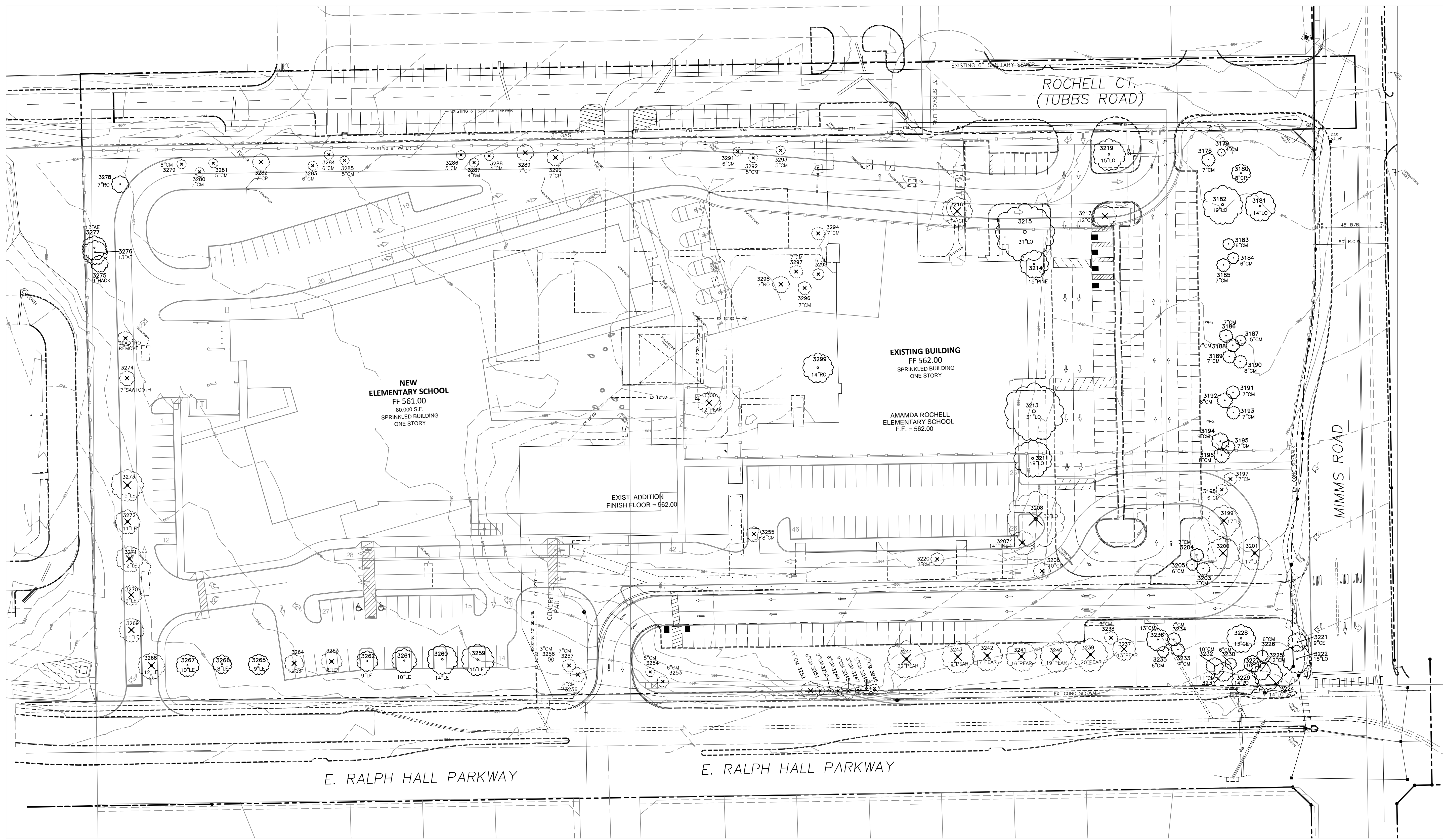

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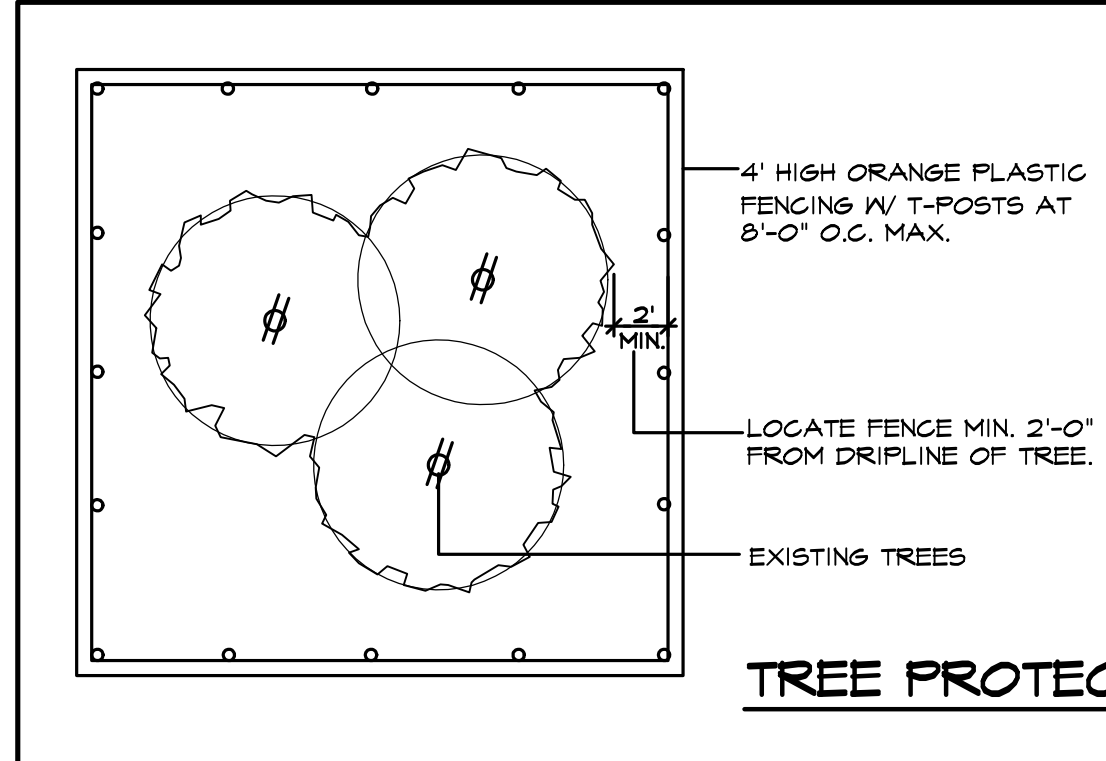
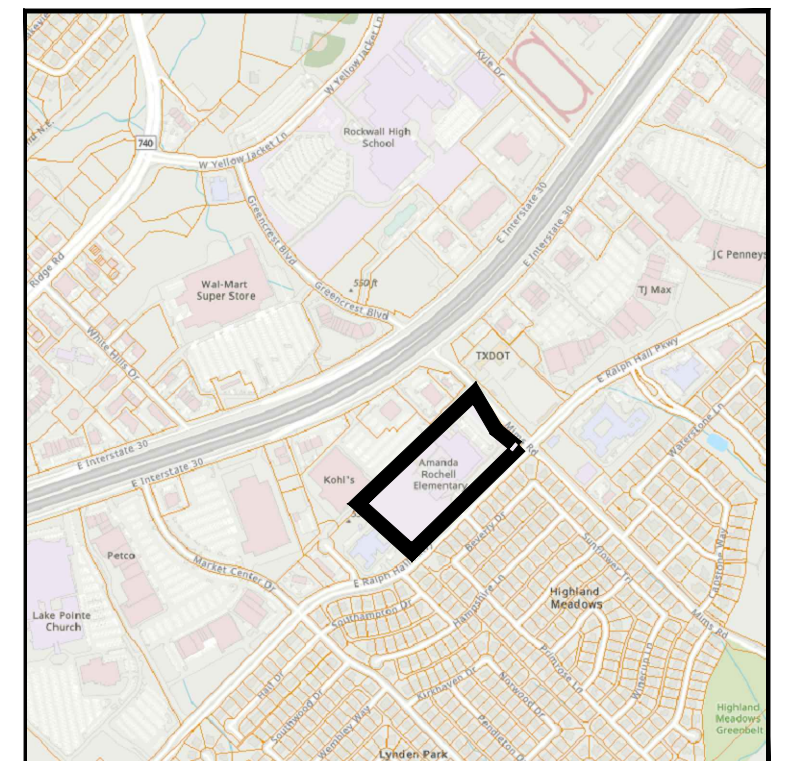
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**LEGEND**

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	462,835 S.F. OR 10.6252 AC.
BUILDING AREA (FLOOR AREA)	55,325 S.F.
PROPOSED FIRST FLOOR	21,575 S.F.
PROPOSED SECOND FLOOR	76,900 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	55,325 S.F.
LOT COVERAGE	55,325 S.F. / 462,835 S.F. = 12.0%
FLOOR AREA RATIO	0.12:1
TOTAL IMPERVIOUS AREA	216,929 S.F. OR 4.98 AC.
BUILDING HEIGHT	35'-4" @ STORY
STUDENT CAPACITY (K-6) DESIGN	642 STUDENT
STUDENT CAPACITY (K-6) EXISTING	650 STUDENT
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	27 SPACES
462 STUDENT, 1 PER 25 STUDENTS = 26.68 (27) SPACES REQUIRED	
PARKING PROVIDED	27 SPACES
PARKING SURFACE	92 SPACES
9'0" x 18'0"	27 SPACES
9'0" x 20'0" PARALLEL	92 SPACES
TOTAL PARKING PROVIDED	119 SPACES

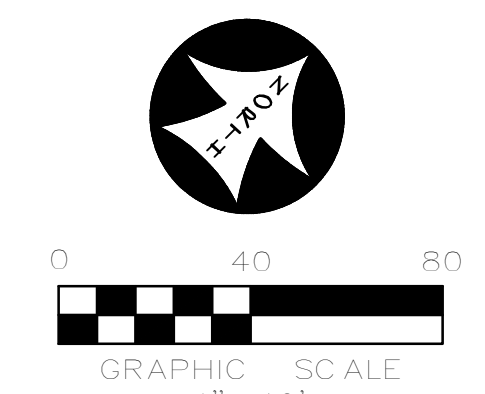


- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

**TREE PROTECTION FENCE AND NOTES**  
SCALE: N.T.S.

**EXISTING TREE LEGEND**

○ 3467	EXISTING TREE TO BE SAVED
⊗ 3468	EXISTING TREE TO BE REMOVED



SEE SHEET TS2 FOR TREE CHART

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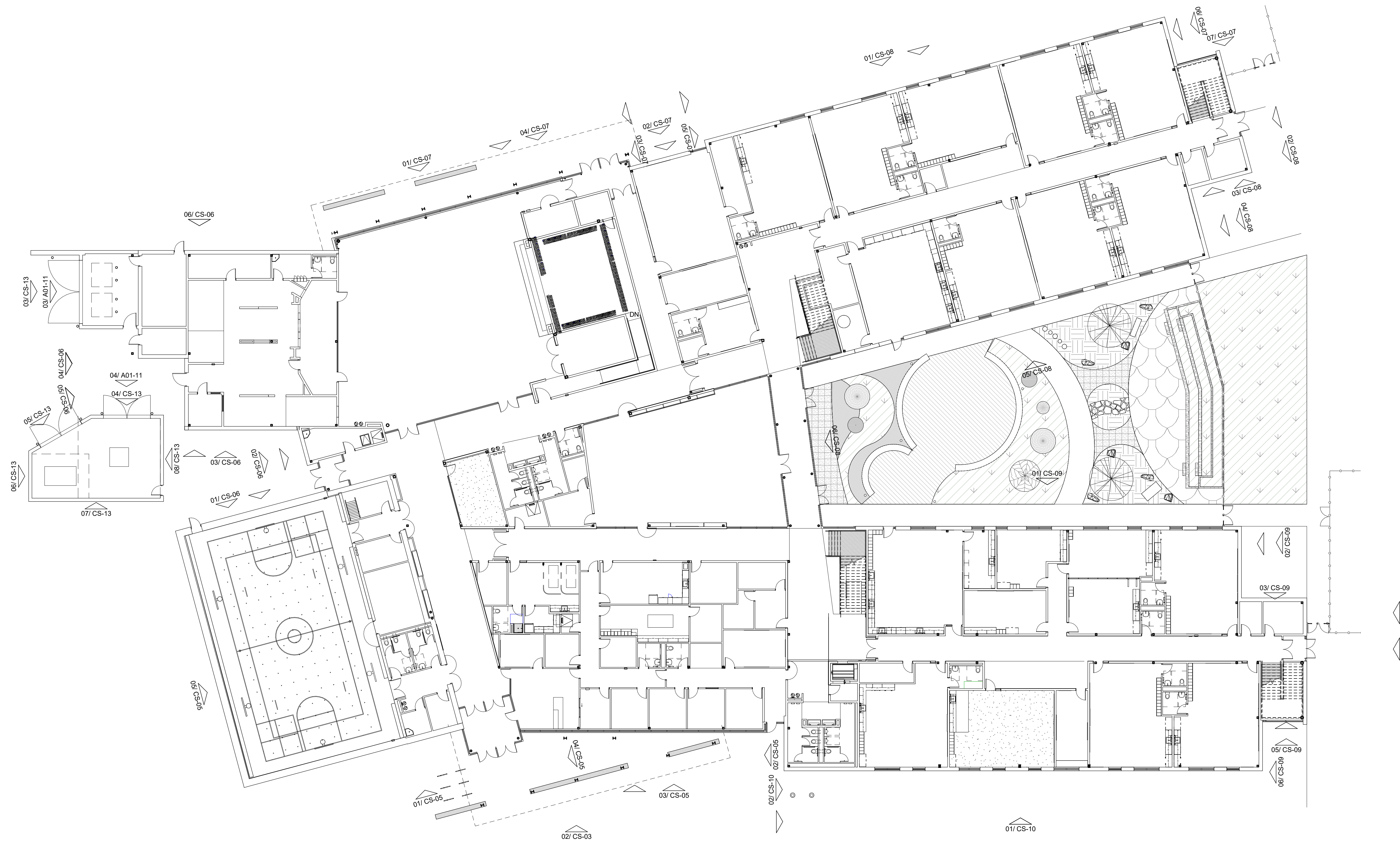
**TREESCAPE PLAN**

**JOB** 22285.0000  
**DATE** 11/14/2022  
**SHEET**

TS 1



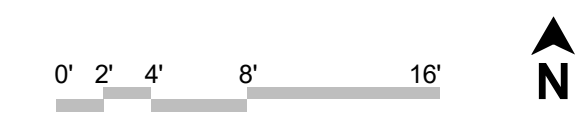




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 Planning & Zoning Commission, Chairman

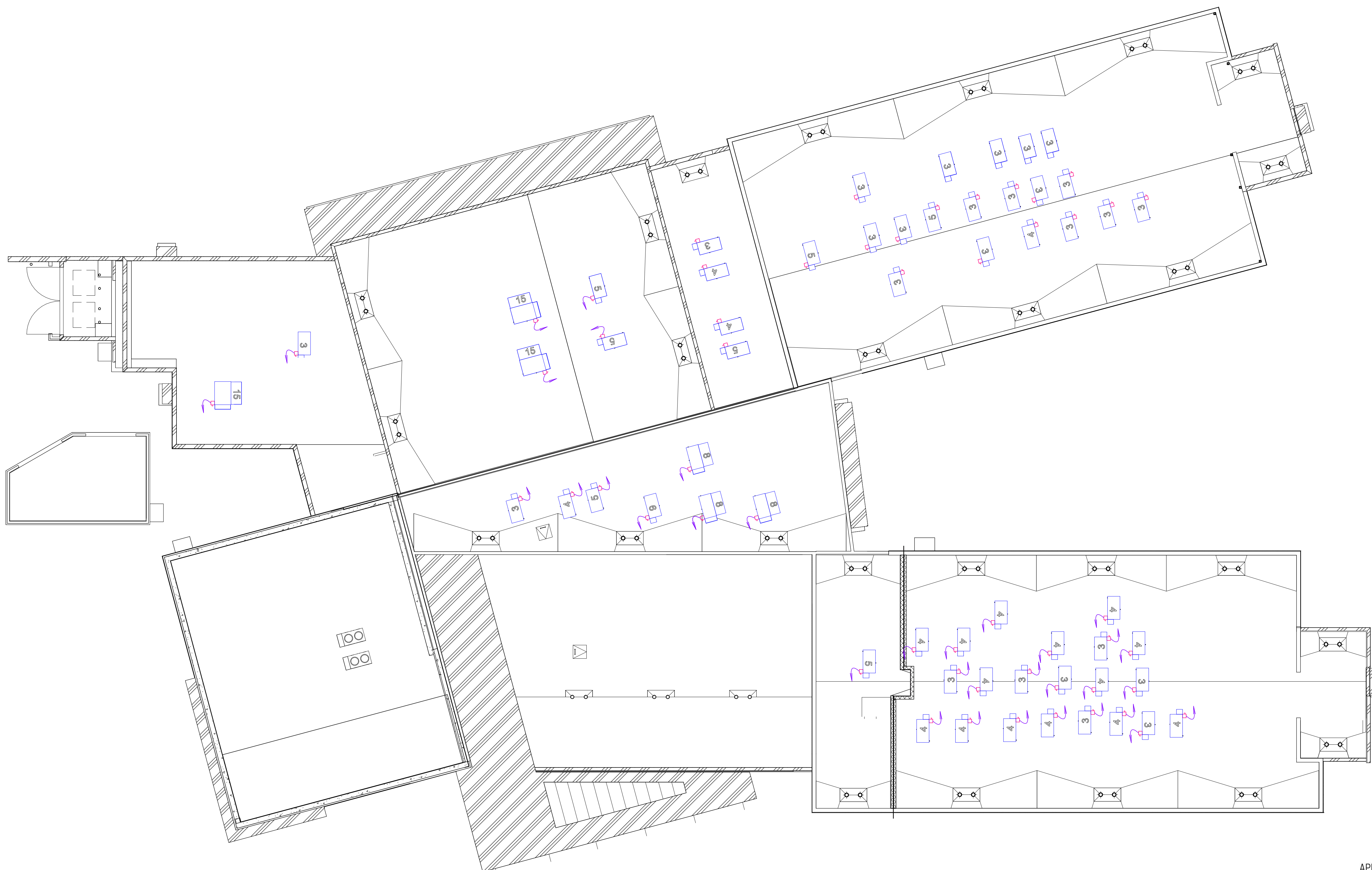
\_\_\_\_\_  
 Director of Planning and Zoning



# FLOOR PLAN - LEVEL ONE

1/16" = 1'-0"

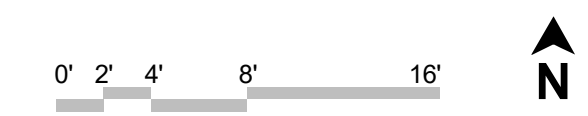




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Planning & Zoning Commission, Chairman

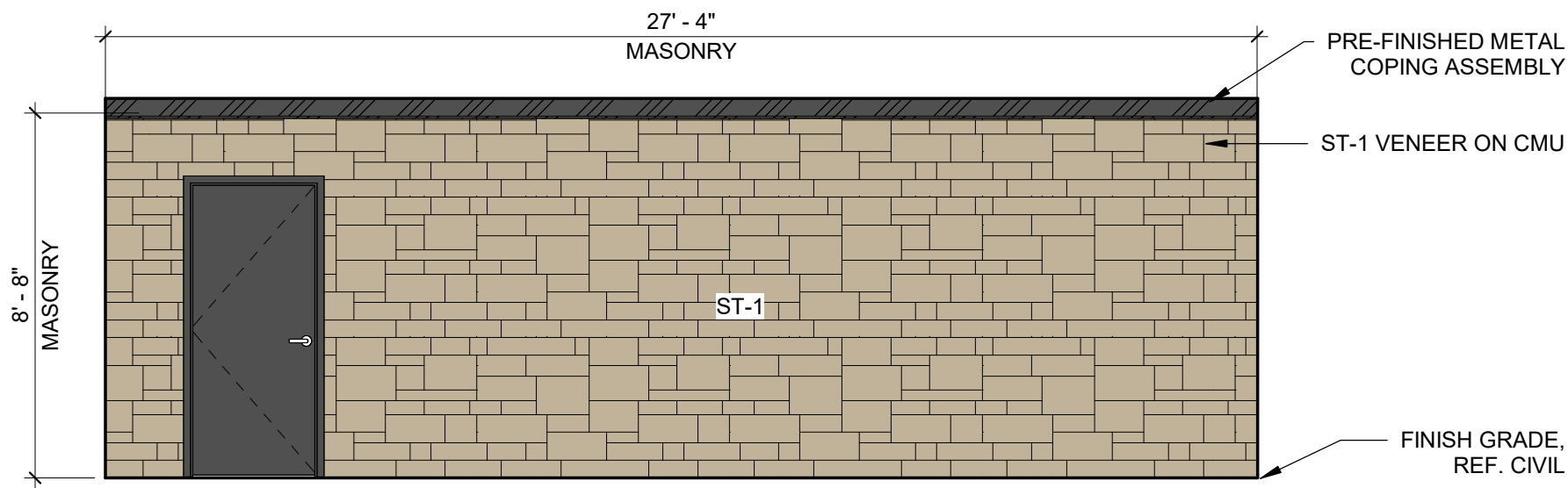
\_\_\_\_\_  
Director of Planning and Zoning



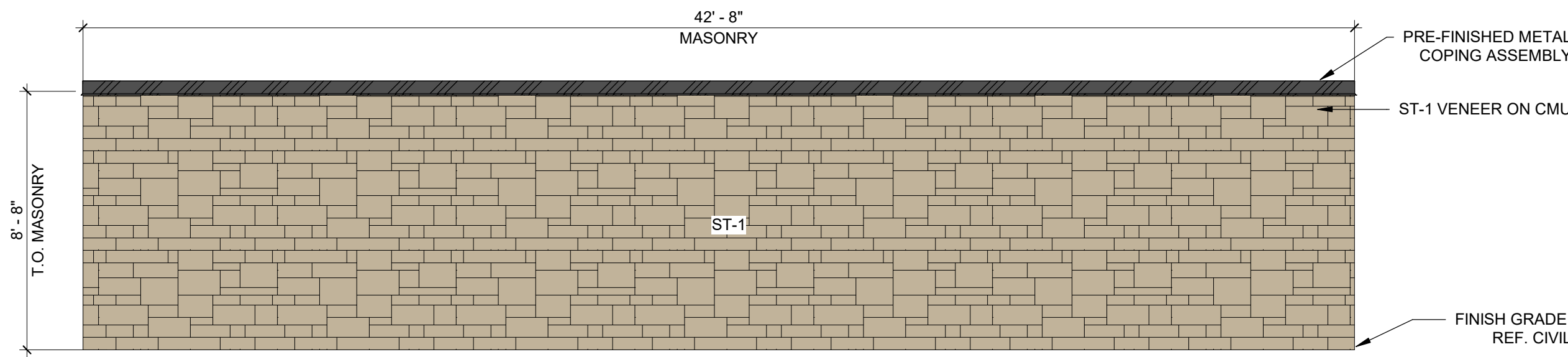
# ROOF PLAN - RTU LOCATIONS

1/16" = 1'-0"

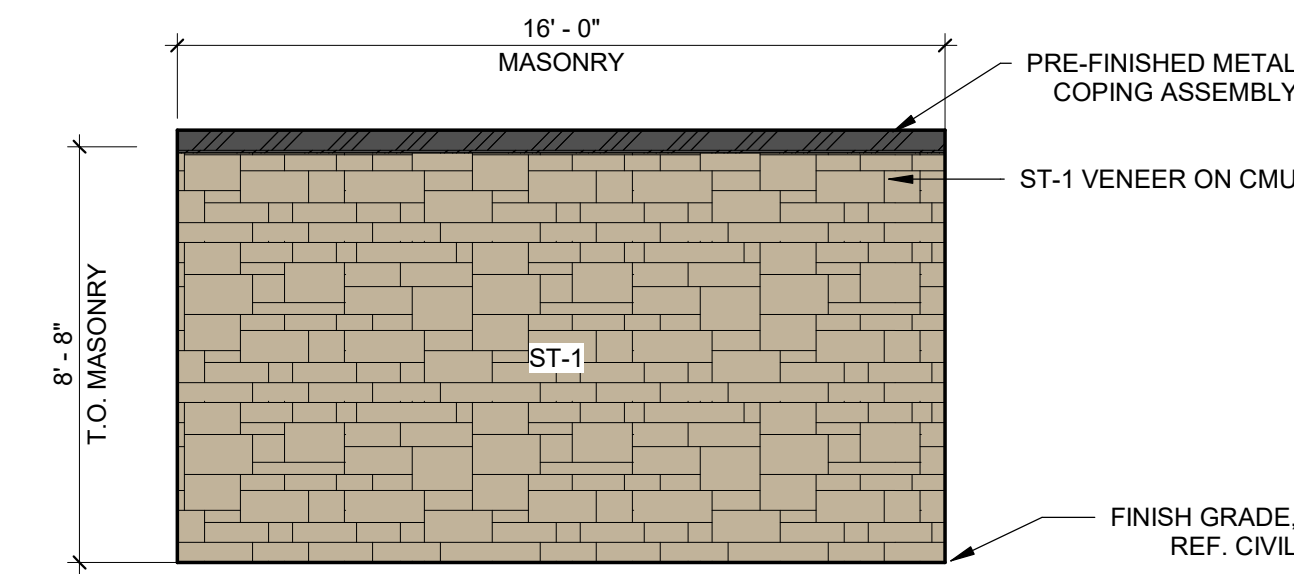




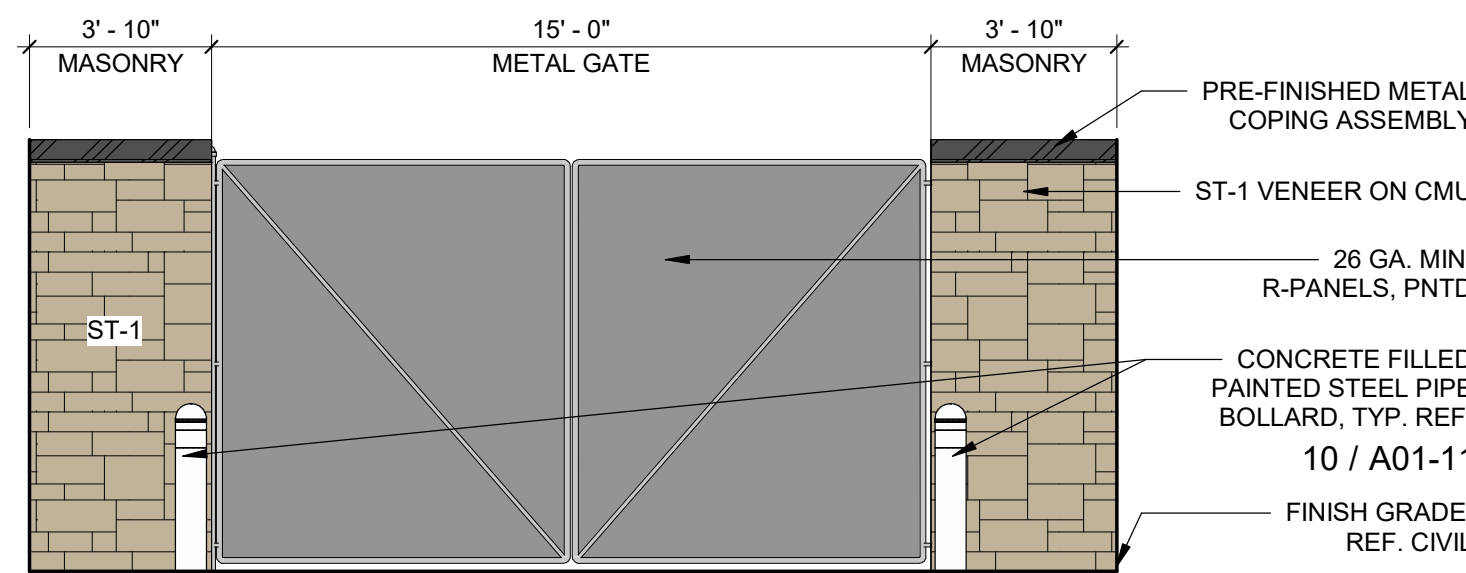
08 SITE ENLARGED ELEVATION - EAST - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



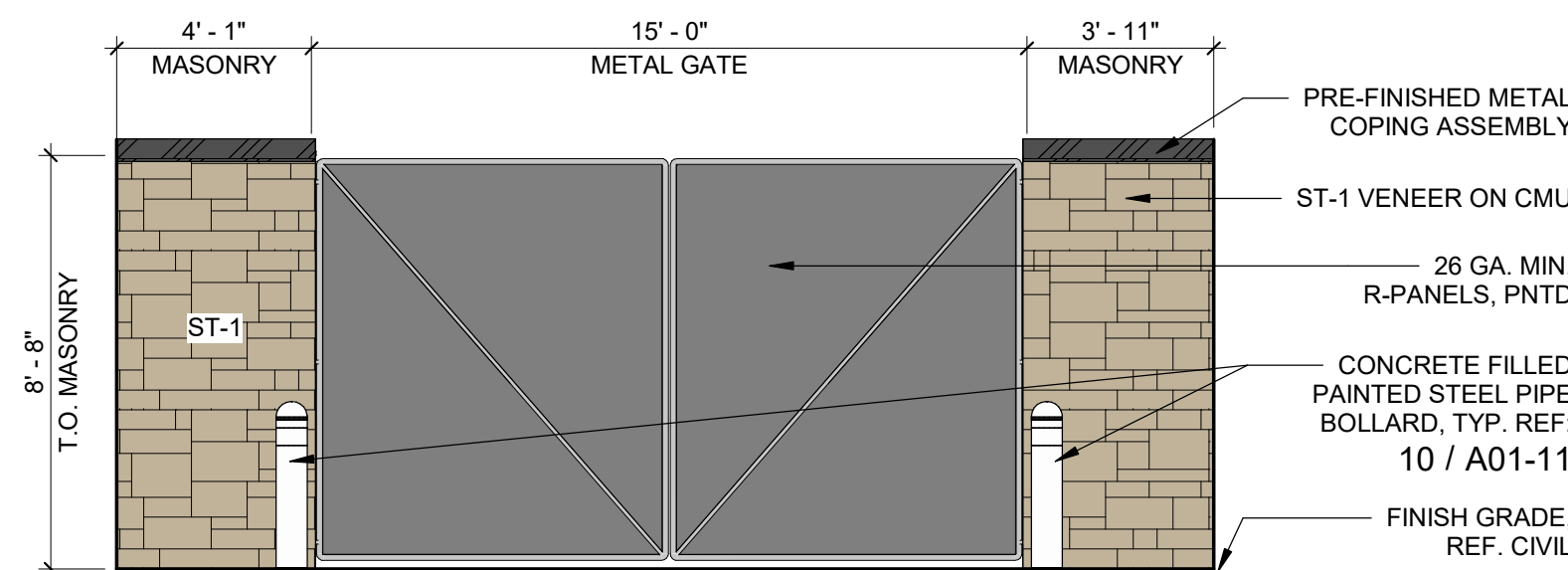
07 SITE ENLARGED ELEVATION - SOUTH - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



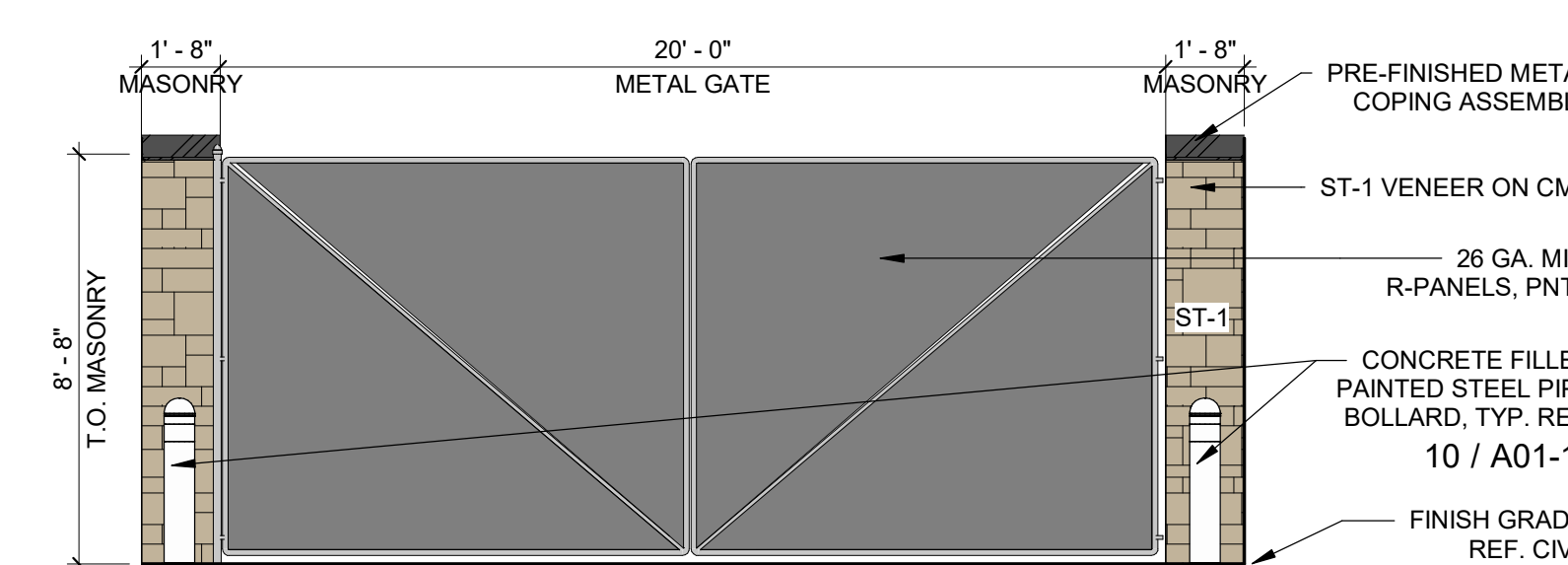
06 SITE ENLARGED ELEVATION - WEST - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



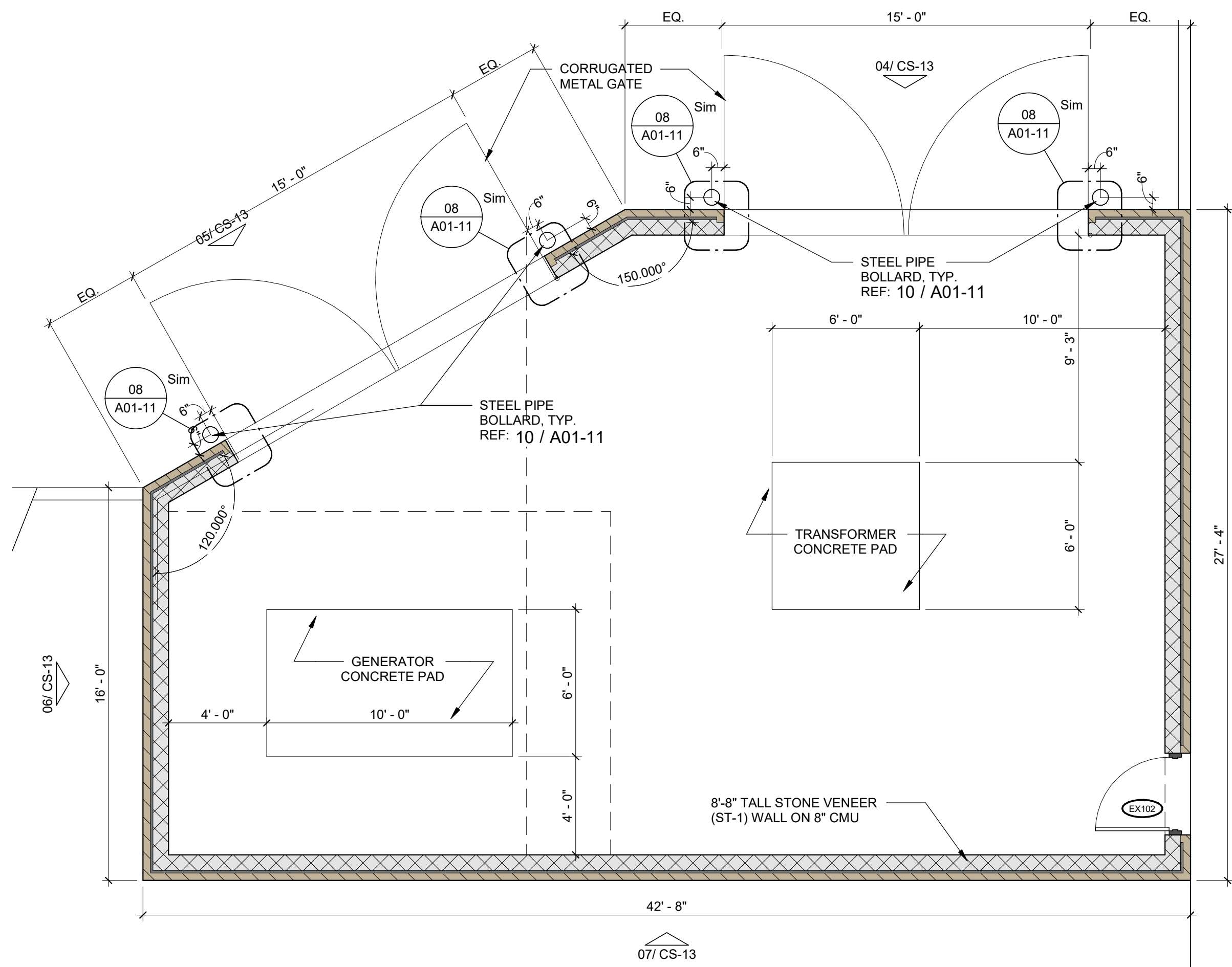
05 SITE ENLARGED ELEVATION - NORTHWEST - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



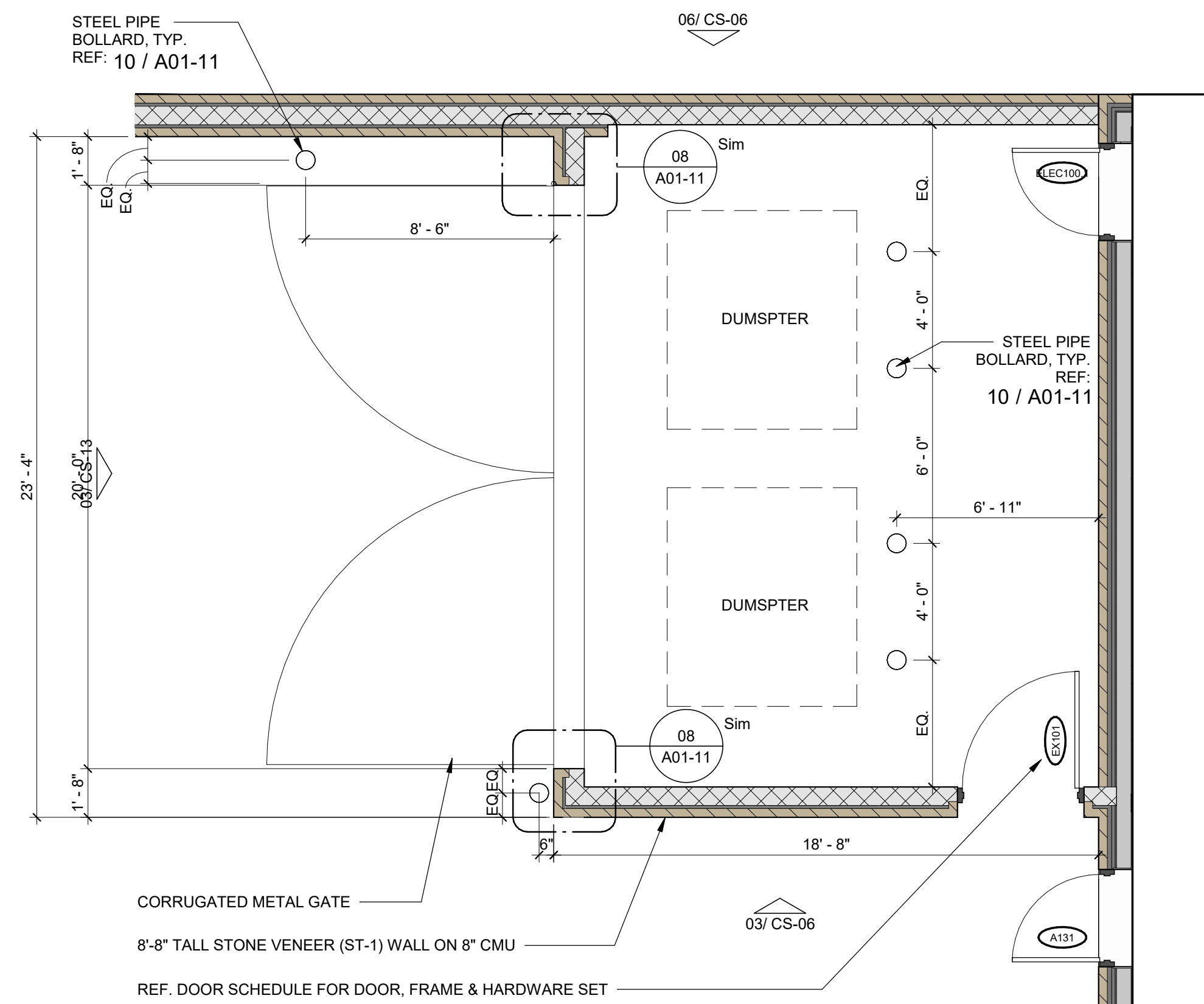
04 SITE ENLARGED ELEVATION - NORTH - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



03 SITE ELEVATION - WEST - DUMPSTER ENCLOSURE  
1/4" = 1'-0"



02 ENLARGED SITE PLAN - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



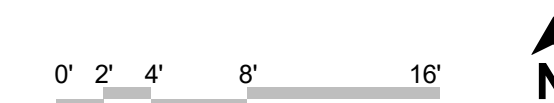
01 ENLARGED SITE PLAN - DUMPSTER ENCLOSURE  
1/4" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1A	ST-1
	BR-1B	ST-2
	BR-2	MP-1
		WDP-1

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



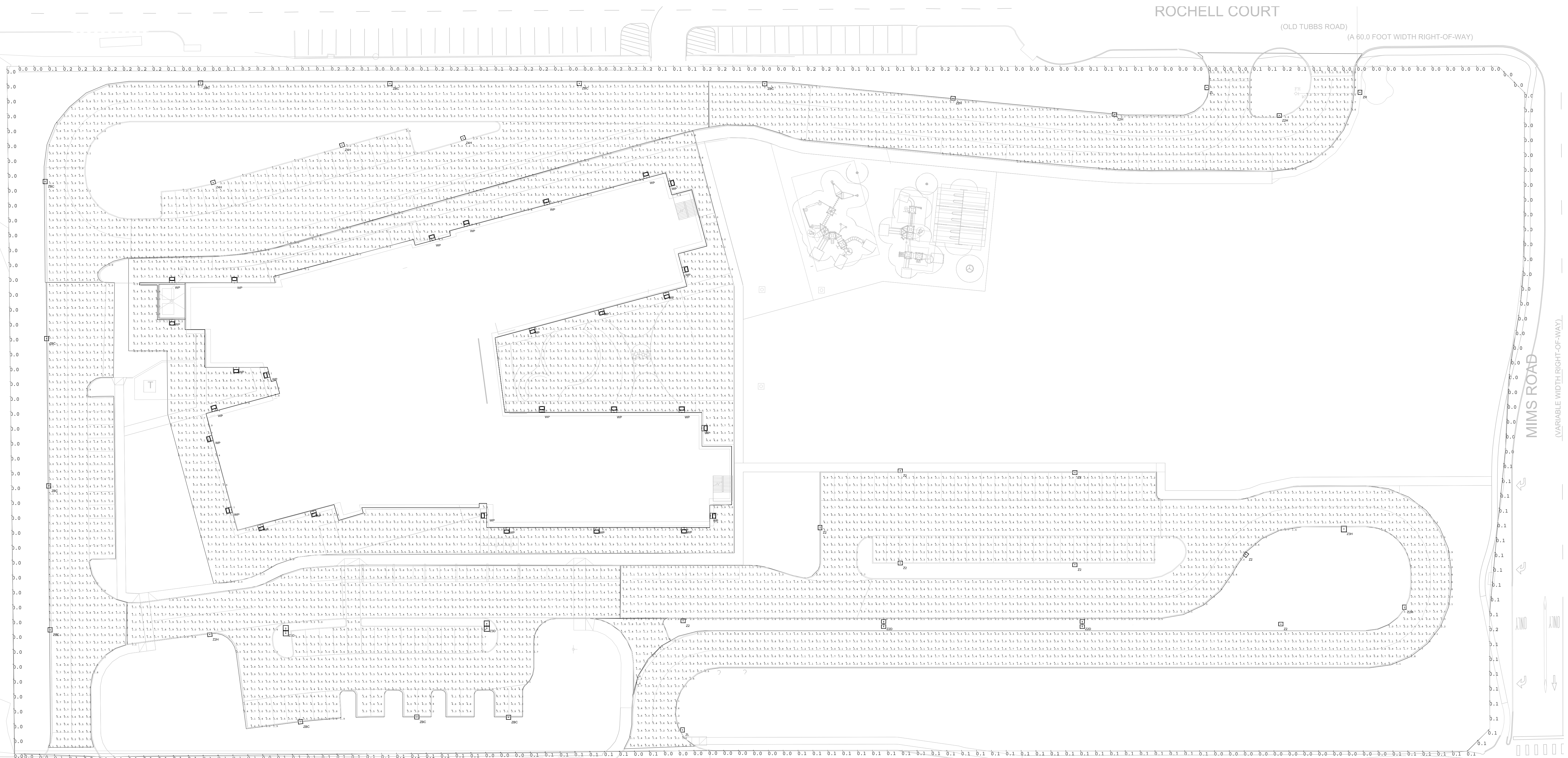


**SITE PLAN PHOTOMETRIC CALCULATIONS  
GENERAL NOTES**

1. THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
2. ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
3. LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGS2 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CONNECTING DRIVE_Planar	Illuminance	Fc	1.35	2.2	0.9	1.50
LIGHTING AROUND BUILDING_Planar	Illuminance	Fc	1.89	9.3	0.0	N.A.
PLAN NORTH PARKING LOT_1_Planar	Illuminance	Fc	2.12	4.9	0.0	N.A.
PLAN NORTH PARKING LOT_Planar	Illuminance	Fc	1.69	3.2	0.5	3.38
PLAN SOUTH DRIVEWAY_Planar	Illuminance	Fc	2.29	4.9	0.2	11.45
PLAN SOUTHWEST PARKING LOT_Planar	Illuminance	Fc	2.71	5.4	0.8	3.39
PLAN WEST DRIVE AND PARKING LOT_Planar	Illuminance	Fc	1.93	3.5	0.1	19.30
PROPERTY LINE	Illuminance	Fc	0.06	0.2	0.0	N.A.

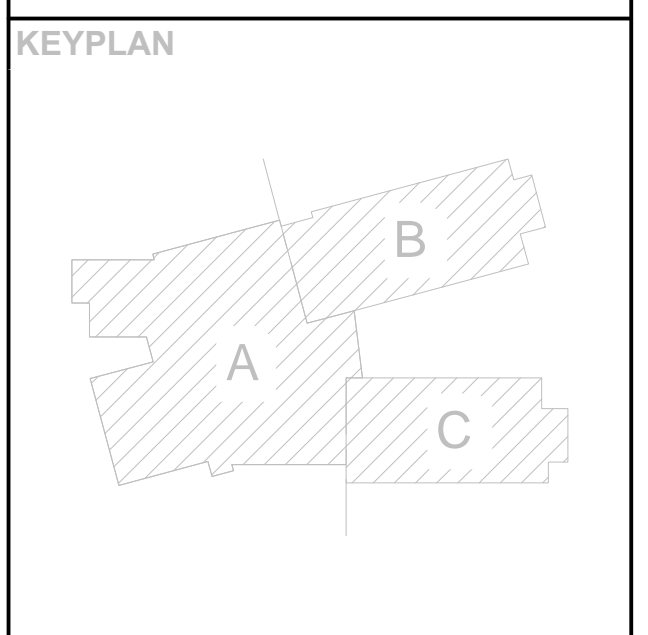
Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
[Symbol]	28	WP	Single	WST LED P2 40K VW MVOLT
[Symbol]	11	ZBC	Single	DSX1 LED P5 40K BLC MVOLT G1
[Symbol]	2	Z3D	Back-Back	DSX1 LED P5 40K T3M MVOLT G1
[Symbol]	2	Z2D	Back-Back	DSX1 LED P5 40K T2M MVOLT G1
[Symbol]	1	ZR	Single	DSX1 LED P5 40K RCCO MVOLT G1
[Symbol]	2	ZL	Single	DSX1 LED P5 40K LCCO MVOLT G1
[Symbol]	5	Z2H	Single	DSX1 LED P5 40K T2M MVOLT HS G1
[Symbol]	8	Z2	Single	DSX1 LED P5 40K T2M MVOLT G1
[Symbol]	3	Z4H	Single	DSX1 LED P5 40K T4M MVOLT HS G1
[Symbol]	1	Z3H	Single	DSX1 LED P5 40K T3M MVOLT HS G1



ISSUES		
1	11/10/22	30% CD
2		
3		
4		
5		
6		
7		
8		
9		
10		
REVISIONS		

REVIEW ONLY  
NOT FOR CONSTRUCTION  
Nov 12, 2022

**Rochell Elementary School  
Replacement**  
899 Rochell Ct.  
Rockwall, TX 75032



**PHOTOMETRIC  
SITE PLAN  
PHASE 2**

JAVIER GARCIA TEXAS P.E. 118750 Nov 12, 2022  
JAMES M. TATE III TEXAS P.E. 022427 Nov 12, 2022

**EMA** Engineering & Consulting, Inc.  
Tyler | Austin | Houston | El Paso  
DFW | San Antonio | Shreveport  
Texas Firm Registration No. F-893  
Louisiana Firm Registration No. EF-5818  
www.EMAengineer.com

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Planning & Zoning Commission, Chairman      Director of Planning and Zoning

1 PHASE 2 PHOTOMETRIC SITE PLAN  
T-30-0'

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM. 1-082-0079-003

**JOB** 22285.0000  
**DATE** 11/10/2022  
**SHEET** ES01-02